TOWN OF NEENAH TOWN BOARD Meeting Agenda

DATE: Monday, May 22, 2023

TIME: 7:00 pm

LOCATION: 1600 Breezewood Lane

The meeting will also be offered virtually via ZOOM. Meeting ID: 891 4939 3233 Passcode: 151843 Phone (312) 626-6799 Zoom Link: https://us02web.zoom.us/j/89149393233?pwd=YkV3M0xDSzhnWkFRMIJTeXErNGNIdz09

TOWN BOARD MEETING

- 1. CALL TO ORDER TOWN BOARD
- 2. APPROVE MINUTES
 - May 8, 2023 Town Board Meeting
- 3. PUBLIC FORUM
- 4. PUBLIC FORUM FOR RECOGNIZED MUNICIPAL AND COUNTY OFFICIALS
- 5. CORRESPONDENCES
 - a. Winnebago County Solid Waste April 2023 Monthly Tonnage Report
- 6. DISCUSSION / ACTION
 - a. Approve Vouchers, Payroll and Bank Transactions May 22, 2023.

b.	Approve Resolution 2023-07	
	Applicant:	Hot Head Properties LLC
	Agent:	None
	Location of Premises Affected:	1577 Deerwood Drive, Neenah Wisconsin
	Tax Parcel No:	010-0203-03
	Current Zoning:	B-3 Regional Business
	Proposed Zoning:	I-1 Light Industrial Business District
	Explanation:	Applicant is requesting a Zoning Map Amendment to rezone a parcel
		from B-3 (Regional Business) to I-1 (Light Industrial)

- c. Approve Engineering Plans for Mahler Park Road and Town Hall Parking Lot.
- d. Discussion and possible action regarding Oakridge Road and Larsen Road interim maintenance before reconstruction projects are started.

7. FUTURE AGENDA TOPICS AND MEETINGS

- a. Board of Review, Thursday May 25, 2023 10:00 a.m.
- b. Memorial Day Holiday Monday May 29, 2023 Office Closed
- c. Monday June 5, 2023 6:00 p.m. at Franzoi Park
- d. Fire Department Meeting, Wednesday, June 7, 2023 at 6:00 p.m.
- e. Next Regularly Scheduled Town Board Meeting, Monday June 12, 2023, at 7:00 p.m.
- 8. OLD BUSINESS
 - a. Status update on Quit Claim Deed for parcel 010-008003 John Petcoff.
- 9. NEW BUSINESS
- 10. ADJOURN OPEN SESSION
- 11. CONVENE INTO CLOSED SESSION

The Town Board will convene into closed session pursuant to Wis. Stats §19.85 (1) (c) Considering employment, promotion, compensation or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility, and pursuant to Wis. Stats §19.85 (1) (g) Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved.

ROLL CALL VOTE

- a. During the closed session, the Town Board will discuss matters related to appointed or elected officials that qualify for the above-mentioned exemptions.
- b. During the closed session the Town Board will discuss nuisance properties in the Town of Neenah.

12. ADJOURN CLOSED SESSION

The Town Board will not reconvene into open session

Closed Session Contemplated: YES

Ellen Skerke, Administrator-Clerk-Treasurer May 18, 2023

Upon request, reasonable auxiliary aids and services will be provided for disabled individuals. If accommodations are required, please provide adequate advance notice to Town Clerk at 920-725-0916.A quorum of other Town Commissions/Committees or Sanitary Commissions may attend, but no official action will be taken by them.

Notice was posted on May 18, 2023 at www.townofneenah.com, Town of Neenah Municipal Building, 1600 Breezewood Lane.

TOWN OF NEENAH TOWN BOARD MEETING

April 24, 2023

Regular Meeting held at Town Hall, 1600 Breezewood Lane, Neenah, WI 54956 and offered via Zoom.

Present: Chairman Robert Schmeichel, Supervisor David Bluma, Supervisor Brooke Cardoza, Supervisor James Weiss, and Supervisor Thomas Wilde.

Also in Attendance: Joint Municipal Court Judge Dave Pavlik, Fire Chief Chad Dolphin, Jeremey Kwiatkowski, Deputy Clerk-Treasurer Vicki Boushele, and Administrator-Clerk-Treasurer Ellen Skerke Also in Attendance via Zoom: Carrie Sturn.

R. Schmeichel called the meeting to order at 7:00 pm. Pledge of Allegiance was recited.

Approval of Minutes

Motion: B. Cardoza/ D. Bluma to approve April 24, 2023 Town Board meeting minutes. Motion carried 5:0:0.

Public Forum

None

Public Forum for Recognized Municipal and County Officials

 Dave Pavlik, recently elected as Judge to the Joint Municipal Court introduced himself and provided some background on his credentials. There will be a future introductory meeting with the Judge, Clerk of Courts and Municipal Clerks to review the citation process.

Correspondences

- Building Permit Report April 2023
- Winnebago County Land and Water letter regarding permit requirements

Discussion/Action.

Vouchers Payroll and Bank Transactions

Approve Vouchers, Payroll and Bank Transactions May 8, 2023.

Motion: B. Cardoza / J. Weiss to approve.

B. Cardoza questioned expense to be reimbursed to E. Skerke. E. Skerke explained they are the annual charges for the QuickBooks program and Zoom Room subscription. Motion Carried 5:0:0.

Resolutions

Approve Resolution 2023-08, Appropriating American Rescue Plan Act Funds in the amount of \$162,535 for Keating Park Restroom

Motion: J. Weiss / T. Wilde to approve. Motion Carried 5:0:0.

Approve Resolution 2023-09, Appropriating American Rescue Plan Act Funds in the amount of \$204,700 for Town Hall Improvements.

Motion: D. Bluma / B. Cardoza to approve.

• General discussion regarding the plan including discussion with Chief Dolphin about the Fire Department office space.

Motion Carried Roll Call Vote, 4:1:0. D. Bluma: Aya, B. Cardozo: Nay, R. Schmeichel: Aye, J. Weiss: Aye, T. Wilde: Aye.

Approve Resolution 2023-10, Appropriating American Rescue Plan Act Funds in the amount of \$136,900 for Fire Department Apparatus Bay Improvements

- C. Dolphin stated this plan needs additional discussion, it may not be the best option for the Fire Department.
- J. Weiss requested a tour of the Apparatus Bay to review the plan as presented.
- This item was tabled, the Town Board and C. Dolphin will tour the Apparatus Bay following the business portion of the meeting.

Oakridge Road

Discuss Oakridge Road interim improvements

- Several options for short term maintenance for Oakridge Road and Larsen Road were provided to the Town Board including patch as needed or ½ inch scratch coat or 1inch scratch coat. Areas to be addressed:
 - Oakridge Road from Tullar Road west to the CB/Oakridge Rd roundabout
 - Tullar Road from the CD/Oakridge Rd roundabout to Clayton Avenue
- Via email, Road Superintendent Glenn Armstrong recommends the second option on Oakridge Road for a ½ inch scratch coat, although he would consider 'patch as needed' option.
- E. Skerke pointed out that the 2023 budget included a line item of \$40,000 for Oakridge Road maintenance. However, we have already exceeded the budget for chip sealing and we do not yet know where Mahler Park Road costs will come in compared to budget.
- E. Skerke noted that the City will put on a 2" layer on their section of Oakridge Road east of Tullar Road and the Town has some jurisdiction in that area of the road, could incur some costs there.
- By general consensus, the Board would like to have further discussion with Glenn Armstrong at the next Town Board meeting (5-22-2023)

Operator's Licenses

Approve Operators Licenses for Abigail Abitz, Marissa Benavidez, Kayla Bentle, Preston Cannedy, Stacey Chrisman, Melissa Pabon, Hannah Reissmann. (7 individuals)

Motion: B. Cardoza / D. Bluma to approve all seven applications

E. Skerke stated that everything checked out on each individual, background checks were OK and each has completed the required Responsible Servers course.

Motion Carried 5:0:0.

Future Agenda Topics and Meetings

- Sanitary District #2 Commissioner Meeting, Tuesday May 9, 2023 at 7:00 p.m.
- Open Book for 2023 Assessment Rolls, Friday May 12, 2023 10:00 am 12:00 p.m., via phone, email or in person by appointment.
- Plan Commission Meeting, Monday May 15, 2023 at 7:00 p.m.
- Next Regularly Scheduled Town Board Meeting, Monday May 22, 2023, at 7:00 p.m.

Old Business

 T. Wilde has concerns with vehicles parking on South Park Avenue during the last two weekends. The Town needs to enforce "No Parking" on South Park Avenue, could contact the Sheriff's Department for enforcement, and add additional No Parking signs on the road when there is a large crowd scheduled. General discussion about allowing parking on the grass inside Mahler Park, general consensus was that is not an option. Moving forward, the clubs need to schedule accordingly to limit the size of events based on the amount of parking available.

New Business

None

Tour the Fire Apparatus Bay

The Town Board, Fire Chief Dolphin and meeting guests toured the Apparatus Bay. C. Dolphin reviewed the status of the three fire trucks,

- Engine 239 was purchased in 2005, is the first engine out when a call comes in.
- The Tender was purchased in 2013.
- Engine E39 was purchased in 1995 and is the vehicle that needs to be replaced at this time. E39 is not equipped with jaws of life.
- C. Dolphin reviewed the protocol for the order of vehicles used when an emergency call comes in.

Adjourn Meeting

Motion: J. Weiss / B. Cardoza to adjourn. Motion carried. Meeting adjourned at 8:26 p.m.

Respectfully submitted,

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Ellen Skerke Administrator-Clerk-Treasurer

Approved: DRAFT - Pending Approval

Voucher List Authorization May 22, 2023

Bank Transfer (Transact	tion List)				
Date	From		<u>To</u>	<u>Amount</u>	<u>Reason</u>
5/23/2023	General MM	Checking	5	\$ 62,000.00) 5/22/2023 Vouchers
Check Details:					
Accounts Payable:		\$	61,842.92		
Notification of New Ver	ndors				
Payroll	Payroli	\$	-		
	Expense Reimburse	\$	-		
	Gross Payroll		-		
	Net Payroll	\$	-		
Deposit Detail					
Date	Where	A	mount		
Paid via Bank Transfer:	Nationwide	¢	_		

Nationwide:	\$ -
Federal Tax/Medicare:	\$ -
State Taxes:	\$ -
Wisconsin Retirement:	\$-
Wisconsin Health Insurance	\$ -

Account Balances as of May 23, 2023 - after requested transfers per this Voucher List

	PROS	PERA CU	Pro	spera CD		BNY Mellon - Pershing		Total
Checking	\$	2,908	\$	_	-			
Membership account	\$	25	\$	-				
General MM	\$	496,498	\$	505,709	\$	754,345	\$	1,756,552
Taxes Collected	\$	9,556	\$	250,000				
Impact Fee	\$	7,510	\$	-				
Tullar Rd Fund	\$	35,059	\$	-				
Storm Water	\$	392,447	\$	251,903	\$	502,681	\$	1,147,030
TOTAL	\$	944,003	\$	1,007,612	\$	1,257,026		
							•	
			GR/	ND TOTAL	\$	3,208,640		

Note: General Town funds includes \$369,166 in ARPA Funds.

_____ Schmeichel ______ Bluma ______ Cardoza ______ Weiss ______ Wilde

9:03 AM

05/19/23

Town of Neenah Check Detail _{May} 23, 2023

Accounts Augable \$ 61.842.92

Date	Num	Name	Memo	Account	Paid Amou
05/23/2023	28344	Aberdean Consult		11010-1 · Checking - Prospera	
05/22/2023 05/22/2023	67069 67189		service desk - remote May billing	51420-4 · Office Expenses 51420-4 · Office Expenses	-36.25 -441.00
TOTAL					-477.25
05/23/2023	28345	Aquatic Biologists		11010-1 · Checking - Prospera	
05/22/2023	277085		Labor / Troubleshoot / 1	55200-8 · Conservancy Park Exp	-107,50
TOTAL					-107.50
05/23/2023	28346	Bowmar Appraisal		11010-1 · Checking - Prospera	
05/22/2023	1230			51530-0 · Assessor Contract	-3,750.00
TOTAL					-3,750.00
05/23/2023	28347	BP Neenah Stand	52210-4	11010-1 · Checking - Prospera	
05/22/2023	4/30/20			52210-4 · Fire Dept. Fuel	-149.99
TOTAL					-149.99
05/23/2023	28348	City of Appleton		11010-1 · Checking - Prospera	
		City of Appleton	2022 Drimony and Cario		25.95
05/22/2023 TOTAL	11632		2023 Filmary and Spini	51440-2 · Election Expenses	-35.85 -35.85
IOTAL					00.00
05/23/2023	28349	Dempsey Law Fir		11010-1 · Checking - Prospera	
05/22/2023	69		Meadow Ln Meetings	51300-0 · Legal Services 51300-0 · Legal Services	-626.45 -350.00
			General	51300-0 Legal Services	-243.00
TOTAL					-1,219.45
05/23/2023	28350	Harters Fox Valley		11010-1 · Checking - Prospera	
05/22/2023	375425			53634-0 · Garbage Collection Ex	-13,352.04
05/22/2023	375430		Mahler Park	53635-0 · Recycling 55200-6 · Parks - Harter's - Trash	-4,184.70 -160.00
TOTAL					-17,696.74
05/23/2023	28351	McMahon Associa		11010-1 · Checking - Prospera	
05/22/2023	801408		Design services for Ro	51520-0 · Engineering Services	-22,644.00
TOTAL					-22,644.00
ac (00)0000	00050	Village of Fox Con		11010 1 . Checking Brooners	
05/23/2023	28352	Village of Fox Cro	Backeturgu	11010-1 · Checking - Prospera	1 000 00
05/22/2023	14579		Rocket way	53311-7 · Highway Projects	-4,939.20
TOTAL					7,000.20
05/23/2023	28353	WE Energies		11010-1 · Checking - Prospera	

Page 1

9:03 AM

05/19/23

Town of Neenah Check Detail May 23, 2023

Date	Num	Name	Memo	Account	Paid Amou
05/22/2023	457582		Mahler LED St lights St lights Fountain Franzoi Muni bldg	55200-7 · Parks - WE Energies 53420-0 · Street Lighting - All Ele 53420-0 · Street Lighting - All Ele 55200-8 · Conservancy Park Exp 55200-7 · Parks - WE Energies 51420-8 · MB Utilities	-125.79 -244.13 -1,568.53 -312.57 -100.75 -713.03
TOTAL					-3,064.80
05/23/2023	28354	Winnebago Cty. T		11010-1 · Checking - Prospera	
05/22/2023	25192		April 2023 Services - C April 2023 Services	6-54400 · SW - Ditch Clean Out 53311-2 · Hwy Exp - Maintenanc	-190.05 -7,568.09
TOTAL					-7,758.14

Resolution 2023-07

FOR TOWN USE ONLY

TOWN ACTION FOR ZONING MAP AMENDMENT TOWN OF NEENAH WINNEBAGO COUNTY, WISCONSIN

RE: Petition for proposed zoning map amendment listed below affecting the Winnebago County Zoning Ordinance and the Office Map of the Town of NEENAH.

Owner(s): HOT HEAD PROPERTIES LLC Agent: NONE Parcel No.: 010-0203-03 Location of Premises Affected: 1577 DEERWOOD DR Legal Description: Being part of the NE 1/4 of the NW 1/4 of Section 20, Township 20 North, Range 17 East, Town of Neenah, Winnebago County, Wisconsin. **Current Zoning:** B-3 Regional Business **Proposed Zoning:** I-1 Light Industrial Explanation: Applicant is requesting a zoning change from B-3 (Regional Business District) to I-1 (Light Industrial District) for expansion of an existing business. Resolved, by the Town Board of the Town of NEENAH, Winnebago County, Wisconsin, that the above indicated proposed amendment to the Town/County Zoning Code (Chapter 23) be and the same is hereby: Approved Disapproved TOWN FINDINGS: Town has an adopted land use plan Town does not have an adopted land use plan Action does not agree with town land use plan Action agrees with town land use plan Other: I, Ellen Skerke, Town Clerk of the above named town, hereby certify that the foregoing is a true and correct copy of a resolution adopted by the Town Board of the Town of NEENAH. DATED THIS _____ DAY OF _____, 20____

SIGNED:

2023-ZC-6330 HOT HEAD PROPERTIES LLC

INITIAL STAFF REPORT

Sanitation: Existing; Municipal

Overlays: Wetlands

Current Zoning: B-3 Regional Business

Proposed Zoning: I-1 Light Industrial

Surrounding Zoning: North: I-2;B-3; South: B-3; East: R-2; West: I-2;

THE FOLLOWING INFORMATION HAS BEEN PROVIDED BY THE OWNER/APPLICANT

Describe present use(s): Landscape/construction business

Describe proposed use(s): Rental unit(s) for construction trades. Existing business to remain in current building, new building to be rented as multiple "like trade" construction businesses.

Describe the essential services for present and future use(s): Existing sewer, water, electric to be used for new rental building.

Describe why the proposed use would be the highest and best use for the property: The proposed rental building would generate additional businesses to be located in the Neenah area which will increase revenue for area business. This building will also make use of the current "non-used" area which will increase the value of the property and generate more more tax revenue for the Town/County/State.

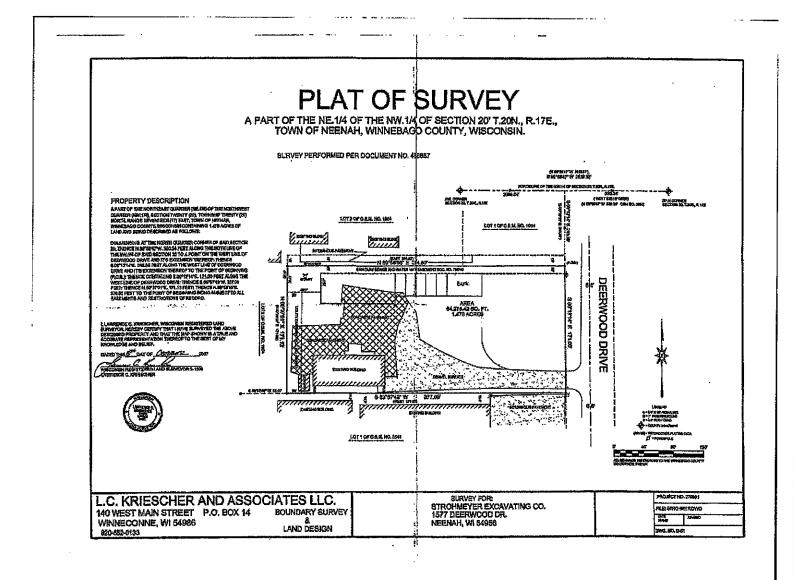
Describe the proposed use(s) compatibility with surrounding land use(s): Surrounding propoerties are zoned I-2 & B-3.

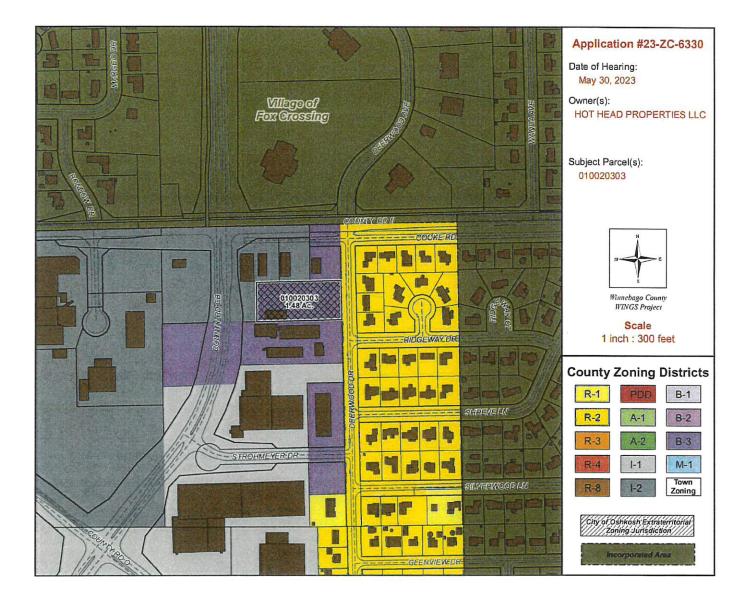
SECTION REFERENCE AND BASIS OF DECISION

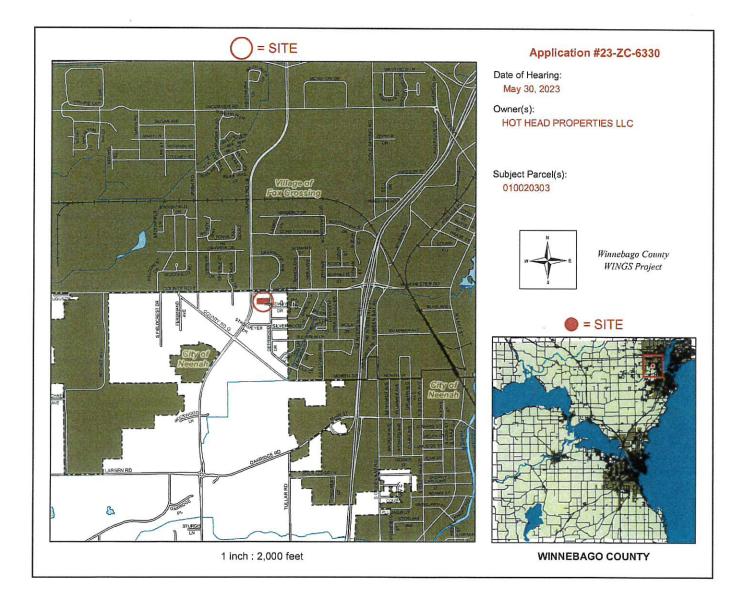
23.7-5 Basis of Decision

Zoning map amendment initiated by a property owner. If a proposed zoning map amendment is initiated by a property owner and would change the zoning classification of a parcel not classified as A-1, the Planning and Zoning Committee in making its recommendation and the Board of County Supervisors in making its decision shall consider the following factors:

- (1) whether the amendment is consistent with the county's comprehensive plan, including any future land use maps or similar maps;
- (2) the extent to which the lot and structures on the subject property conform to the dimensional standards that apply to the proposed zoning district; and
- (3) any other factor not specifically or generally listed, but deemed appropriate by the committee or board given the particular circumstances.







TOWN OF NEENAH PLAN COMMISSION MEETING

Monday, May 15, 2023 Held at Town of Neenah Municipal Building, 1600 Breezewood Lane and offered via Zoom

Present for Plan Commission: Plan Commission Chair Pete Weyenberg, Commissioner Jody Andres, Commissioner Russ Meerdink, and Commissioner Don Nussbaum. **Present for Plan Commission via Zoom**: Commissioner Brett Armstrong and Commissioner Joshua Lautenschlager.

Also Present: Steve Fleming, Peggy Fleming, Carrie Sturn (via Zoom) Town Board Supervisor James Weiss and Administrator-Clerk-Treasurer Ellen Skerke.

P. Weyenberg called the Public Hearing to order at 7:00 pm. The Pledge of Allegiance was recited.

Public Hearing for Zoning Map Amendment

Applicant:Hot Head Properties LLCAgent:NoneLocation of Premises Affected:1577 Deerwood Drive, Neenah WisconsinTax Parcel No:010-0203-03Current Zoning:B-3 Regional BusinessProposed Zoning:I-1 Light Industrial Business DistrictExplanation:Applicant is requesting a Zoning Map Amendment to rezone a
parcel from B-3 (Regional Business) to I-1 (Light Industrial)

The following comments were made in the Public Hearing:

- Steve Fleming, 1577 Deerwood Drive spoke on behalf of the zoning map amendment request. Shared an updated drawing with a concept of the plan for the property. Adding additional buildings for storage to be rented out to trade businesses. The existing landscape bins will be removed. Unfortunately the oak tree on the property will have to be removed.
- Plan Commission members asked several questions resulting in the following information:
 - New buildings will be located on the north side of the lot. The existing building is approximately 100' long, the new buildings will be 250' in total.
 - The aesthetics will remain as is, similar materials for siding and roofing. New buildings should look very similar to the existing building.
 - Buildings will be heated and have plumbing.
 - 2,000 sq feet for each unit.
 - No outside storage of materials
- Carrie Sturn, 1570 Deerwood Drive spoke, she lives across the street from 1577 Deerwood Drive. She is happy with the current owner and has no complaints. Her question was if the property is rezoned, what could it become in the future. Pete Weyenberg explained the land use matrix and gave some examples of what was permissible in I-1 Zoning.
- C. Sturn stated her concerns are the potential of increased traffic in the future should someone else come in after the current owner and change the use.

Having no one else interested in speaking, Chair Pete Weyenberg closed the Public Hearing at 7:15 p.m.

Plan Commission Meeting

Plan Commission Meeting was called to order at 7:15 p.m.

Approve November 21, 2022 Plan Commission Meeting Minutes

- R. Meerdink made a correction tot eh verbiage on page 3.
- J. Andres made a spelling correction on the last page.

Motion: D. Nussbaum / J. Andres to approve with noted corrections. Motion carried by voice vote.

Public Forum

None

Input/Discussion/Action

Zoning Map Amendment

Resolution 2023-07 – Zoning Map Amendment Applicant: Hot Head Properties LLC Agent: None Location of Premises Affected: 1577 Deerwood Drive, Neenah Wisconsin Tax Parcel No: 010-0203-03 Current Zoning: B-3 Regional Business Proposed Zonina: I-1 Light Industrial Business District Explanation: Applicant is requesting a Zoning Map Amendment to rezone a parcel from B-3 (Regional Business) to I-1 (Light Industrial)

- P. Weyenberg reviewed County Zoning Chapter 23 Land Use Matrix and stated that this situation falls under line item 15.06 Contractor Yard.
- The commission reviewed the County GIS Zoning map to look at zoning of the surrounding properties.
- P. Weyenberg stated this proposed use is consistent with other properties in the area, it is an improvement to the area and there is a growing need for this purpose.
- J. Andres advised that the owner be mindful of the required setbacks and parking requirements as he plans his project.
- B. Armstrong stated it would be an improvement to the area.
- J. Lautenschlager agreed, and that the proposed aesthetics will fit well.

Motion: J. Andres / B. Armstrong to approve this zoning map amendment request. Motion Carried by voice vote.

• E. Skerke requested additional input for Resolution 2023-07, she will check the boxes; The Town has an adopted land use plan, and the action agrees with town land use plan. Are there any "Other Comments" to add to the Resolution?

P. Weyenberg suggested - This is an improvement to the site in the immediate neighborhood, consistent with other activity in the immediate neighborhood, does not appear to have any traffic concerns.

• J. Andres recommended that E. Skerke share the drawing provided by S. Fleming with the Town Board for their discussion.

Old Business

None

New Business

- R. Meerdink stated that the Plan Commission has not had many meetings, the Plan Commission can initiate things on their own. The Plan Commission may want to come up with a strategy to grow the Town, perhaps a brain storming meeting to get public input. can initiate things on their own. We need to engage the community for their input.
- R. Meerdink stated the strategy can consider land in the entire community, not just the land that the Town owns. He also suggested that the Town reach out to East Central Wisconsin Regional Plan Commission for ideas.

Next regularly scheduled Plan Commission Meeting, pending agenda items, Monday June 19, 2023 at 7:00 p.m.

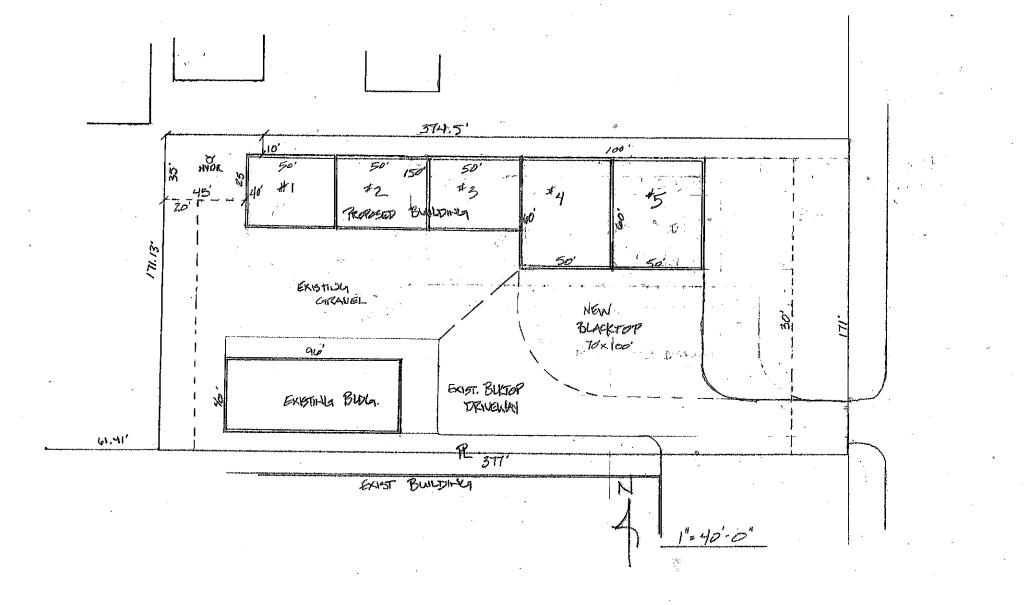
Adjourn

Motion: D. Nussbaum / R. Meerdink to adjourn Motion carried. Meeting Adjourned at 7:45 pm

Respectfully submitted,

Ellen Skerke Administrator-Clerk-Treasurer

Approved: DRAFT – Pending Approval



1577 Deerwood Drive

Proposed improvements drawing submitted to Plan Commission on 5-15-2023 by property owner

STANDARD ABBREVIATIONS

10		. –
AC	ACRE	LT
AGG	AGGREGATE	LVC
АН	AHEAD	MAINT
ASPH	ASPHALT PAVEMENT	MATL
AVG	AVERAGE	MAX
B-B	BACK TO BACK	MIN
BEG	BEGIN	MH
		MP
BIT	BITUMINOUS	
BK	BACK	NB
B/L	BASE LINE	NO
		NOR
BLDG	BUILDING	
BM	BENCH MARK	OD
BOC	BACK OF CURB	OBLIT
BRG	BEARING	ΡΑΥΊ
		PC
C-C	CENTER TO CENTER	
CY	CUBIC YARD	PCC
C&G	CURB AND GUTTER	
		PE
CB	CATCH BASIN	
CE	COMMERCIAL ENTRANCE	PED
CHD	CHORD	PGL
		PI
C/L	CENTER LINE	P/L
CL	CLASS (FOR CONC PIPE)	•
CMP	CORRUGATED METAL PIPE	PLE
	CLEAN OUT	PP
CO		PRC
CONC	CONCRETE	
CORR	CORRUGATED	PROP
CP		PSD
	CONTROL POINT	PSI
CR	CRUSHED	
CS	CURB STOP	PT
CSW	CONCRETE SIDEWALK	PVC
CTH	COUNTY TRUNK HIGHWAY	
CULV	CULVERT	PVI
D	DEPTH OR DELTA	PVT
		R
DI	DUCTILE IRON	RCP
DIA	DIAMETER	
DIS	DISCHARGE	RD
		REBAR
EA	EACH	REM
EB	EASTBOUND	
EBS	EXCAVATION BELOW SUBGRADE	RECON
EG	EDGE OF GRAVEL	REQ'D
		R/L
ELEV	ELEVATION	
ELEC	ELECTRIC	RP
EMB	EMBANKMENT	RR
		RT
EMAT	EROSION MAT	
ENT	ENTRANCE	R/W
EOR	END OF RADIUS	SB
		SE
EP	EDGE OF PAVEMENT	
EXC	EXCAVATION	SF
EX	EXISTING	SI
EW	ENDWALL	STH
		SY
F–F	FACE TO FACE	
FDN	FOUNDATION	SALV
FE	FIELD ENTRANCE	SAN
		SEC
FERT	FERTILIZER	
FG	FINISHED GRADE	SHLDR
F/L	FLOW LINE	S/L
FT	FOOT	SQ
FTG	FOOTING	STA
GRAV	GRAVEL	STD
GN	GRID NORTH	STO
		SW
GV	GAS VALVE	
HDPE	HIGH DENSITY POLYETHYLENE	TC
HE	HIGHWAY EASEMENT	TEL
HMA	HOT MIX ASPHALT	TEMP
HP	HIGH POINT	TLE
HT	HEIGHT	TV
HYD	HYDRANT	
		TYP
ID	INSIDE DIAMETER	UG
IN	INCH	USH
INL		
	INLET	VAR
INV	INVERT	VC
IP	IRON PIPE	VERT
JCT	JUNCTION	WB
LB	POUND	WM
LF	LINEAR FOOT	WV
LP	LIGHT POLE	

LEFT LENGTH OF VERTICAL CURVE MAINTENANCE MATERIAL MAXIMUM MINIMUM MANHOLE MILE POST NORTHBOUND NUMBER NORMAL OUTSIDE DIAMETER OBLITERATE PAVEMENT POINT OF CURVATURE PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVATURE PRIVATE ENTRANCE PEDESTAL PROFILE GRADE LINE POINT OF INTERSECTION PROPERTY LINE PERMANENT LIMITED EASEMENT POWER POLE POINT OF REVERSE CURVATURE PROPOSED PASSING SIGHT DISTANCE POUNDS PER SQUARE INCH POINT OF TANGENCY POLYVINYL CHLORIDE OR POINT OF VERTICAL CURVATURE POINT OF VERTICAL INTERSECTION POINT OF VERTICAL TANGENCY RADIUS REINFORCED CONCRETE PIPE ROAD REINFORCEMENT ROD REMOVE RECONSTRUCT REQUIRED REFERENCE LINE RADIUS POINT RAILROAD RIGHT RIGHT-OF-WAY SOUTHBOUND SUPERELEVATION SQUARE FEET SLOPE INTERCEPT STATE TRUNK HIGHWAY SQUARE YARD SALVAGED SANITARY SECTION SHOULDER SURVEY LINE SQUARE STATION STANDARD STORM SIDEWALK TOP OF CURB TELEPHONE TEMPORARY TEMPORARY LIMITED EASEMENT TELEVISION TYPICAL UNDERGROUND U.S. HIGHWAY VARIES VERTICAL CURVE VERTICAL WESTBOUND WATER MAIN WATER VALVE

Designer: McMAHON ASSOCIATES, INC. Attn: Ben Hamblin 1445 McMahon Drive Neenah, WI 5956 920-751-4200 bhamblin@mcmgrp.com

Owner: TOWN OF NEENAH Attn: Ellen Skerke 1600 Breezewood Lane Neenah, WI 54956 920-886-7543 eskerke@tn.neenah.wi.gov

STANDARD SYMBOLS

SAN

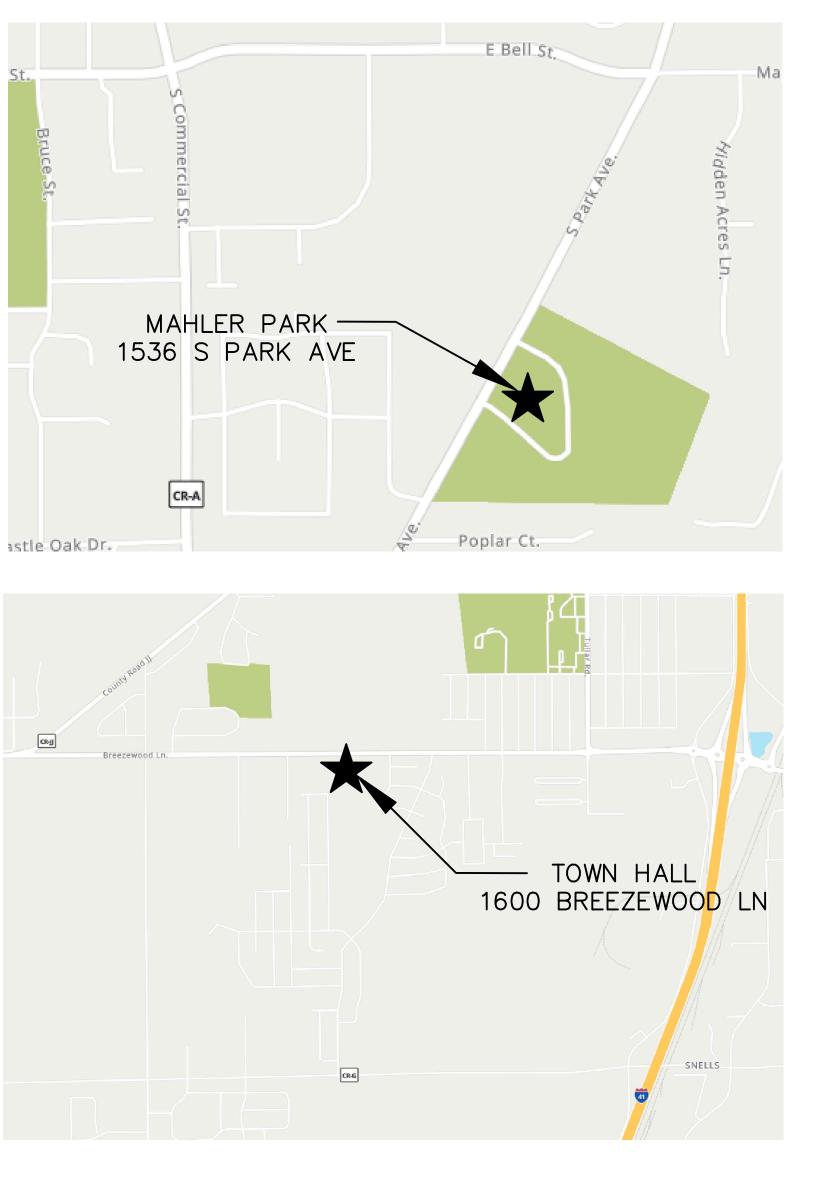
SAN

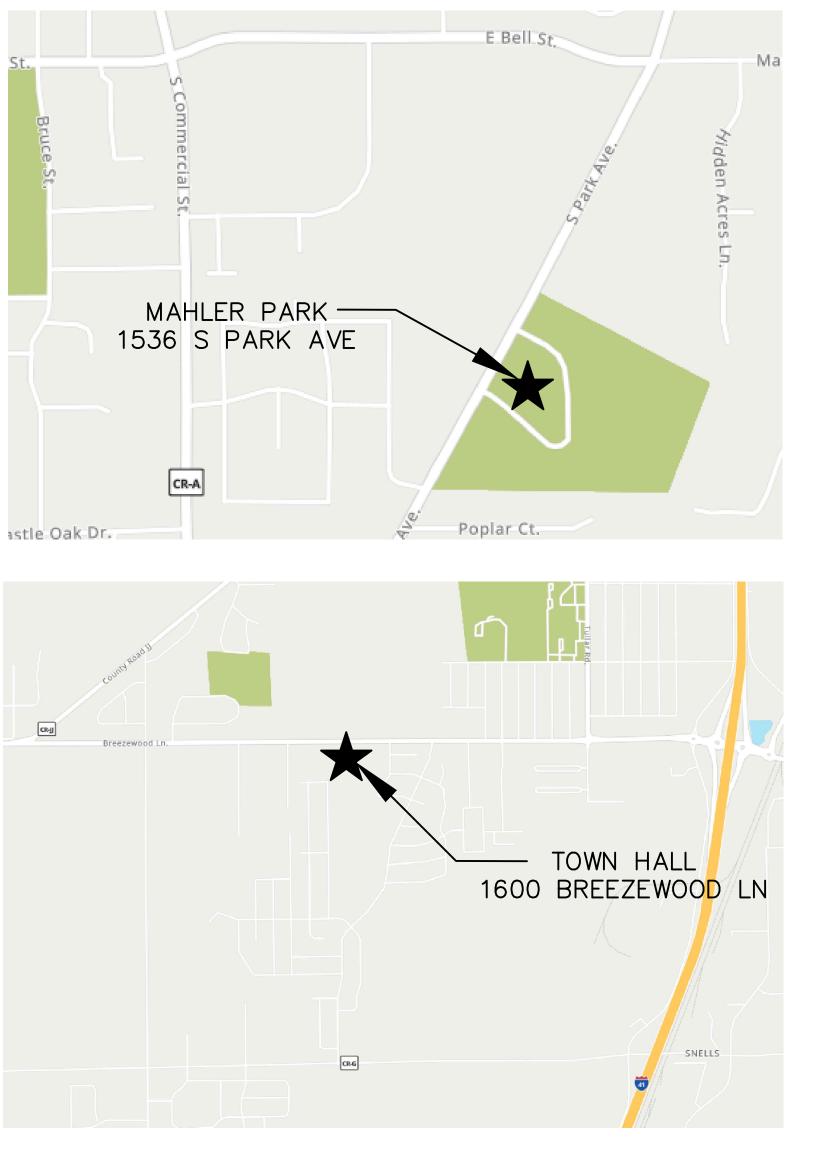
	2" IRON PIPE FOUND	-
	1 1/4" REBAR FOUND	_
	1 1/4" x 30" IRON REBAR WEIGHING 4.30 LB/LF SET	-
	1" (1.315 OD) IRON PIPE FOUND	_
	1" IRON PIPE SET	_
	3/4" IRON REBAR FOUND	_
	, 3/4" IRON PIPE FOUND	_
	, 3/4"x 24" IRON REBAR WEIGHING 1.5 LB/LF SET	_
	MAG NAIL FOUND	_
	MAG NAIL SET	_
	GEAR NAIL SET	_
	RAILROAD SPIKE FOUND	-
	RAILROAD SPIKE SET	
	CHISEL CROSS FOUND	-
	CHISEL CROSS SET	-
	COUNTY MONUMENT	
	CONCRETE MONUMENT FOUND	-
		-
	CONTROL POINT HORIZONTAL	_
MW	CONTROL POINT VERTICAL	-
	SOIL BORING OF MONITORING WELL	-
	POWER POLE	=
	POWER POLE W/GUY WIRE	
	TELEPHONE OR TELEVISION PEDESTAL	
	MAILBOX	
	SIGN	7
	RAILROAD CROSS BUCK	-
	RAILROAD GATE ARM	-
	RAILROAD TRACKS	-
	LIGHT POLE	-
	WOOD POLE	
	TRAFFIC SIGNAL	
	TRAFFIC SIGNAL MAST ARM	
	CONIFEROUS TREE	/
	DECIDUOUS TREE	C
\frown	TREE OR BRUSH LINE	-
	BED ROCK (IN PROFILE VIEW)	
	HANDICAPPED PARKING STALL	
	EXISTING SPOT ELEVATION	
)	PROPOSED SPOT ELEVATION (700.00 DATUM)	
>	DRAINAGE HIGH POINT	
	DRAINAGE DIRECTION	
	EXISTING MANHOLE	
	PROPOSED MANHOLE	
	EXISTING INLET	
	PROPOSED INLET	
	EXISTING YARD DRAIN	
	PROPOSED YARD DRAIN	
	EXISTING CLEAN OUT	
	PROPOSED CLEAN OUT	
	EXISTING DOWNSPOUT	
	PROPOSED DOWNSPOUT	
	EXISTING WATER VALVE	
	PROPOSED WATER VALVE	
	EXISTING CURB STOP	
	PROPOSED CURB STOP	
	EXISTING FIRE HYDRANT	
	PROPOSED FIRE HYDRANT	
	PROPOSED WATER FITTING	
	PROPOSED WATER REDUCER	
	PROPOSED ENDCAP	
	GAS VALVE	
	OVERLAND FLOW PATH	

TELEPHONE CABLE – BURIED _____T____ ELECTRIC CABLE – BURIED UTILITIES – OVERHEAD _____OHU_____ FIBER OPTIC CABLE – BURIED ------FO------GAS MAIN _____G_____ CABLE TELEVISION - BURIED _____TV_____ PROPERTY LINE ----- RIGHT-OF-WAY LINE 746 PROPOSED CONTOURS EXISTING SANITARY SEWER PROPOSED SANITARY SEWER ______WM_____EXISTING WATER MAIN ______ WM_____ PROPOSED WATER MAIN ------ STO EXISTING STORM SEWER ______STO_____ PROPOSED STORM SEWER EXISTING CURB & GUTTER PROPOSED CURB & GUTTER PROPOSED REJECT CURB & GUTTER EXISTING CULVERT WITH END SECTIONS $\mathbf{D} = = = = = \mathbf{1}$ PROPOSED CULVERT WITH END SECTIONS BUILDING OUTLINE _____ ----------------------------------SILT FENCE GUARD RAIL 0 0 0 0 0 DITCH CHECK INLET PROTECTION TRACKING PAD TURBIDITY BARRIER OR SHEET PILING SANDBAG COFFERDAM ---- SLOPE INTERCEPT LIMITS OF DISTURBANCE EROSION MAT RIP-RAP (SIZE AS SPECIFIED) TURF REINFORCEMENT MAT (TRM) VEGETATED BUFFER \checkmark \checkmark عناند عناند عناند عناند عناند DELINEATED WETLANDS EXISTING ASPHALT EXISTING CONCRETE PROPOSED ASPHALT PROPOSED CONCRETE PROPOSED GRAVEL PROPOSED DRIVEWAY * * * * * * * * * * * * GRADE, SEED AND MULCH TOPSOIL, SEED, FERTILIZER AND MULCH

- SUCH USE IS AT THE USER'S OWN RISK.

- ENERGIES CONTACT IS CODY BECKMAN 920-380-3422.
- CONTACT IS STEVE ARMSTRONG 920-380-3563.
- MIKE HAHN (920-735-3358).
- CABLE CONTACT IS VINCE ALBIN (920-378-0444).





GENERAL NOTES

THE UTILITIES SHOWN IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES, PRIVATE AND PUBLIC, SHALL BE NOTIFIED 72 HRS. PRIOR TO EXCAVATION.

2. THE PROPERTY LINES, RIGHT-OF-WAY LINES AND OTHER PROPERTY INFORMATION ON THIS DRAWING WERE DEVELOPED OR OBTAINED AS PART OF THE COUNTY GEOGRAPHIC INFORMATION SYSTEM OR THROUGH THE COUNTY PROPERTY TAX MAPPING FUNCTION. MCMAHON DOES NOT GUARANTEE THIS INFORMATION TO BE CORRECT, CURRENT OR COMPLETE. THE PROPERTY AND RIGHT-OF-WAY INFORMATION ARE INTENDED FOR USE AS A GENERAL REFERENCE AND ARE NOT INTENDED OR SUITABLE FOR SITE-SPECIFIC USES. ANY USE TO THE CONTRARY OF THE ABOVE STATED USES IS THE RESPONSIBILITY OF THE USER AND

3. PAVEMENTS AND RELATED CONSTRUCTION SHALL COMPLY WITH WISDOT STANDARD SPECIFICATIONS.

4. NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT THE APPROVAL OF THE TOWN.

5. A SAWED JOINT IS REQUIRED WHERE NEW HMA PAVEMENT MATCHES EXISTING ASPHALTIC CONCRETE SURFACE.

6. NATURAL GAS UTILITY: CONTRACTOR TO COORDINATE NATURAL GAS INSTALLATION WITH ENGINEER AND WE ENERGIES. WE

7. ELECTRICAL UTILITY: CONTRACTOR TO COORDINATE ELECTRICAL INSTALLATION WITH ENGINEER AND WE ENERGIES. WE ENERGIES

8. TELEPHONE UTILITY: CONTRACTOR TO COORDINATE ELECTRICAL INSTALLATION WITH ENGINEER AND AT&T. AT&T CONTACT IS

9. CABLE UTILITY: CONTRACTOR TO COORDINATE CABLE INSTALLATION WITH ENGINEER AND TIME WARNER CABLE. TIME WARNER

10. CONTRACTOR TO OBTAIN TRAFFIC CONTROL PERMIT APPLICATIONS FROM THE TOWN PRIOR TO CONSTRUCTION.

11. A STREET EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN THE R.O.W.

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G PROJECTS NTY, WI	REVISION					
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		C	Ζ		ABREVATIONS-NOTES-DETAILS	

MAY 2023

SHEET NO. **N**4



НО	RIZONTAL	CONTROL F	POINTS
POINT #	NORTHING	EASTING	DESCRIPTION
2	522370.59	814480.07	MAG NAIL
3	522118.08	814700.72	MAG NAIL
4	521965.14	814773.68	HUB TACK
5	522636.51	814582.46	MAG NAIL
6	521988.65	814229.10	MAG NAIL

VERTICAL BENCHMARK CONTROL

POINT #	ELEVATION	DESCRIPTION
7	756.41	MAG IN POWER POLE 69-3180
8	755.51	TOP WELL FLAT BAR
9	753.06	MAG IN POWER POLE 69-3184
10	754.63	MAG IN POWER POLE 10958
11	757.15	TOP WELL FLAT SPOT

	NO.	DATE	REVISION	McMahon Associates, Inc. provides this drawing & data. regardless	
PROJECTS				of form; as instruments of service. All rights including	
)				copyrights are retained by McMahon Associates, Inc. The	
TY. WI				client and/or recipient agrees to the fullest extent permitted by	ENGINEERS ARCHIECIS
				McMahon Associates, Inc. harmless for any reuse of or	McMAHON ASSOCIATES, INC. 1445 McMAHON DRIVF NFFNAH WI 54956
				changes made to the original drawing or data without prior	Mailing: P.O.BOX 1025 NEENAH, WI 54957-1025
				written consent by McMahon Associates, Inc.	PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

HALL – REPAVING WINNEBAGO COUNT

& TOWN H/ NEENAH, W SURVEY

PARK /N OF

MAHLER PA TOWN

DESIGNED

PROJECT NO. N0003-09-23-00245

DATE

MAY 2023 SHEET NO.

02

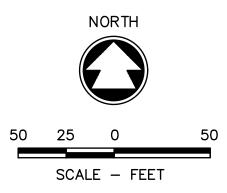
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DRAWN

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HALL

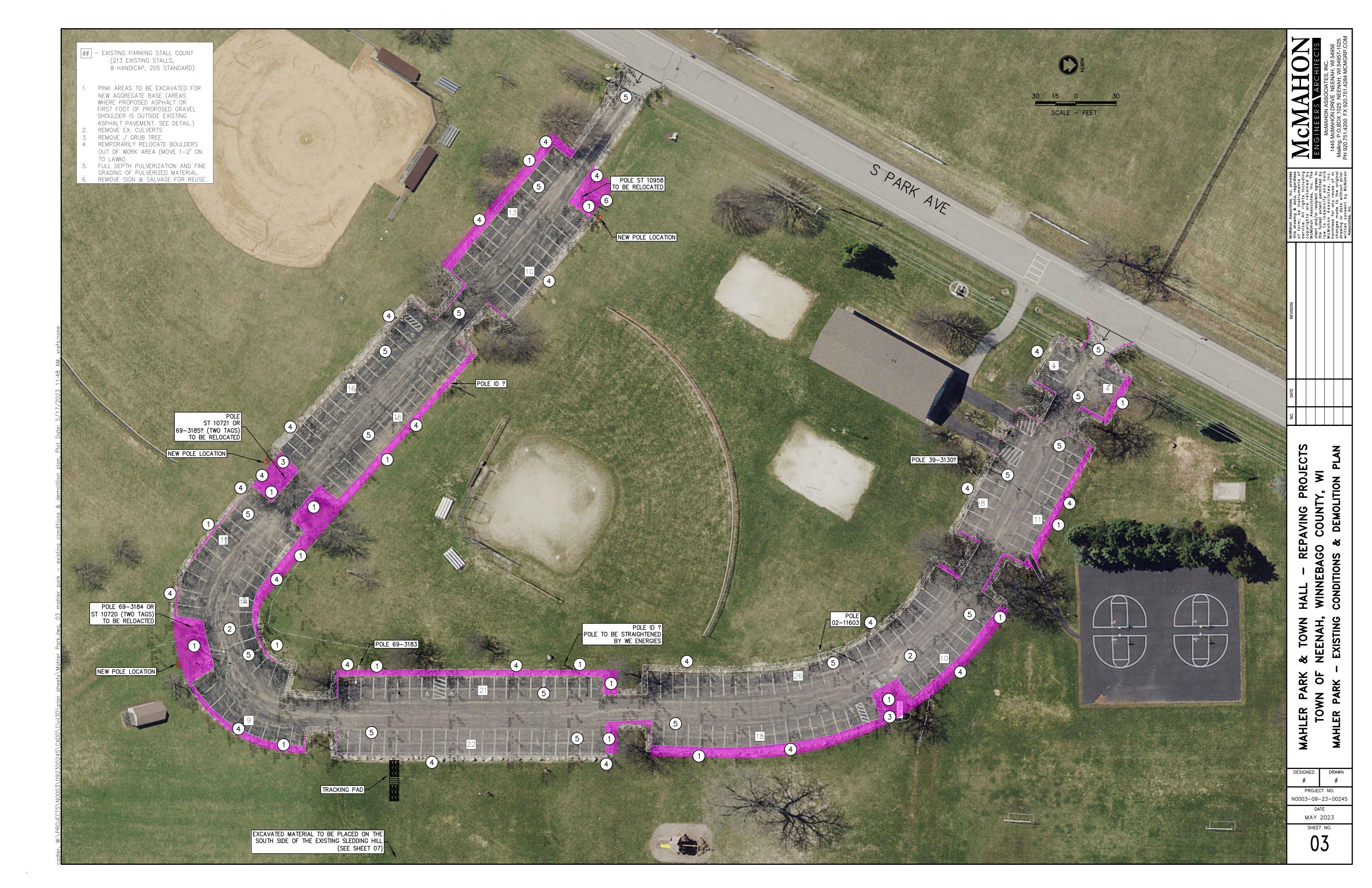
CONTROL



NOTE: PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ALSO VERIFY HORIZONTAL CONTROL BY FIELD CHECKING SEVERAL CONTROL POINTS AND SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY DISCREPANCIES.

VERTICAL DATUM ELEVATIONS ARE REFERENCED TO NGS DATA: CONTROL POINT NAME: NEENAH S GPS POINT ID: DF6127 NAVD 88 DATUM BY GPS OBSERVATION TO ELEVATION = 757.27 (2007 ADJUSTMENT) LEVEL LOOP PER FIELD BOOK 1542 PAGE 24

HORIZONTAL DATUM: COORDINATES ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM AS PUBLISHED FOR WINNEBAGO COUNTY NAD 83 (1997)



SITE PLAN KEY NOTES

- REPLACE BOULDERS ON NEW GRAVEL SHOULDER
- . 75' 8" C900 PVC STORM CULVERT @ 0.8% (X2). 45' MITRE CUT PIPE ENDS . 75' 8" C900 PVC STORM CULVERT @ 0.2% (X2). 45' MITRE CUT PIPE ENDS . EXTEND AND SHAPE ASPHALT TO MATCH EX. ASPHALT TRAIL

- SHAPE PULVERIZED BASE & REPAVE PARKING LOT FOR 3 $\frac{1}{2}$ " HMA. 3' WIDE GRAVEL SHOULDER (ALONG ENTIRE LENGTH OF PARKING LOT)
- 4" WHITE PAINT STRIPE.
- WHITE ACCESSIBLE PARKING SYMBOL. WHITE PAINT DIRECTIONAL ARROW.
- 10. 12" WHITE STOP BAR. ALIGN WITH EXISTING STOP SIGN.
- 11. PLACE EXCAVATED MATERIAL ON SOUTH SIDE OF EXISTING SLEDDING HILL.
- 12. REMOVE ANY EX GRAVEL LANDSCAPING BEYOND THE 3' GRAVEL SHOULDER. RESTORE WITH TOPSOIL, SEED, EROSION MAT, & FERTILIZER. 13. REPLACE EXISTING PARK SIGN. VERIFY LOCATION WITH OWNER.

THE PERSON NAME OF COMPACT AND DESCRIPTION OF COMPACT AND DESCRIPACT AND DESCRIPACT AND DESCRIPTION OF COMPACT AND DESCRIPTION OF

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HOURS PRIOR TO EXCAVATION.

COORDINATE WITH WE ENERGIES AND TOWN WITH POLE MAINTENANCE / REPLACEMENT

SAWCUTS ARE INCIDENTAL TO THE PROJECT.

REMOVE & REUSE EXISTING HANDICAP PARKING SIGNS.

ALL RECTANGULAR PARKING STALL SIZES SHALL BE 9'-0" X 18'-0" UNLESS OTHERWISE NOTED.

GENERAL CONTRACTOR TO RESTORE ANY LAWN AREAS THAT ARE DISTURBED BY CONSTRUCTION (PARKING LOT PERIMETER, MATERIAL HAUL ROUTE, SLEDDING HILL). AREAS TO BE RESTORED WITH TOPSOIL, SEED, FERTILIZER, AND EROSION MAT.

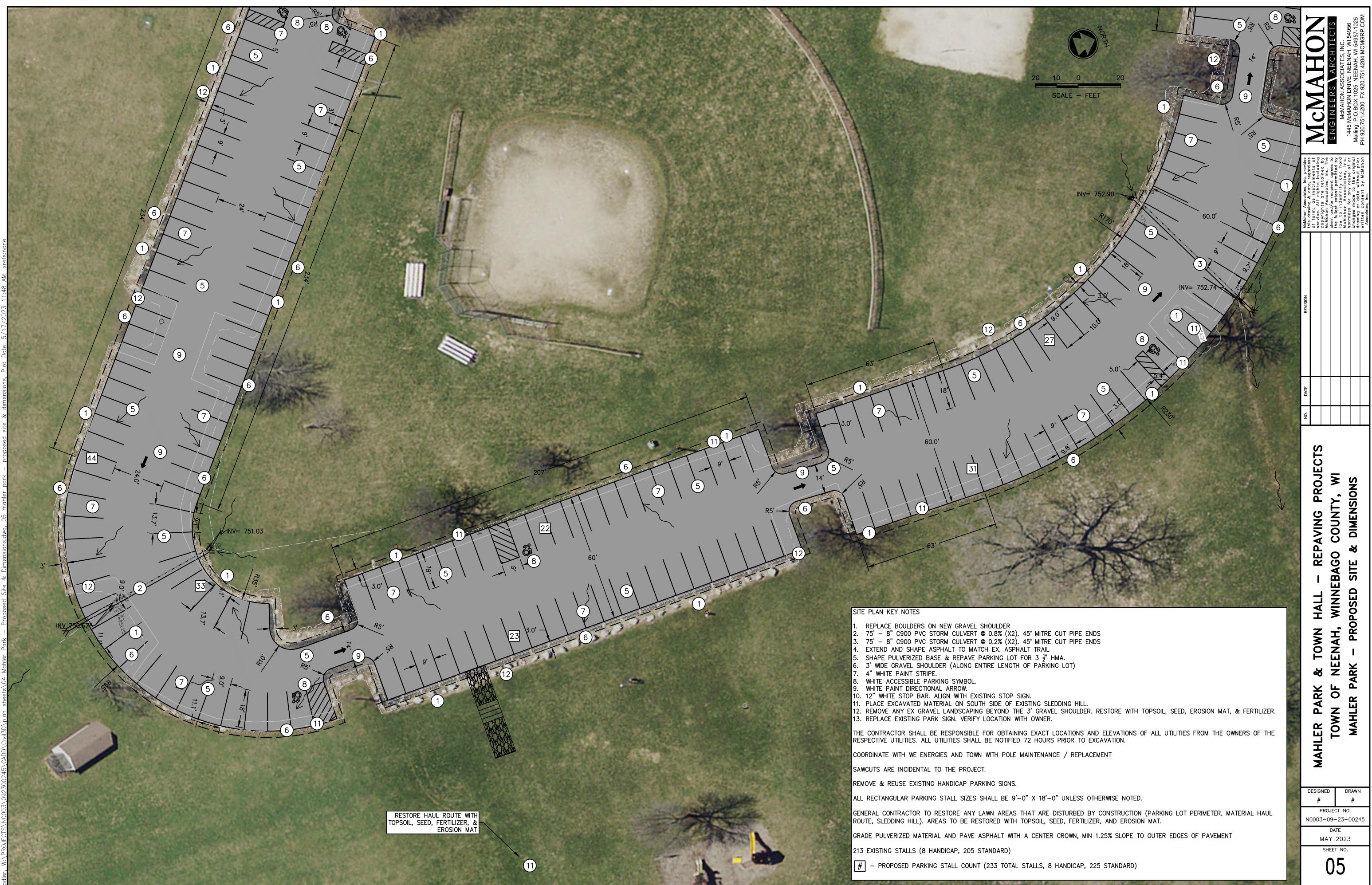
GRADE PULVERIZED MATERIAL AND PAVE ASPHALT WITH A CENTER CROWN, MIN 1.25% SLOPE TO OUTER EDGES OF PAVEMENT

213 EXISTING STALLS (8 HANDICAP, 205 STANDARD)

- PROPOSED PARKING STALL COUNT (233 TOTAL STALLS, 8 HANDICAP, 225 STANDARD)

(12) (5)









– EXISTING PARKING STALL COUNT (47 EXISTING STALLS, 45 STANDARD, 2 HANDICAP)

GENERAL NOTES:

- SAWCUT. VERIFY LOCATIONS WITH OWNER / ENGINEER.
 FULL DEPTH PULVERIZATION AND FINE GRADING OF PULVERIZED MATERIAL.
 EXISTING DOWNSPOUT MAIN TO BE ABANDONED IN PLACE. REMOVE CLEANOUT.
 REMOVE CURB & GUTTER AT JOINT.
 REMOVE CONCRETE PAVEMENT.
 SANDBLAST EXISTING STRIPING ON CONCRETE.

-





SITE PLAN KEY NOTES SHAPE PULVERIZED BASE AND REPAVE HMA PARKING LOT FOR 3 $\frac{1}{2}$ " HMA. NEW STANDARD 30" CURB & GUTTER @ 0.5%. 12 NEW STORM CLEANOUT / ROOF DRAIN CONNECTION. NEW 8" UNREINFORCED CONCRETE PAVEMENT, 9 BAG 'HIGH EARLY'. 4" WHITE PAINT STRIPE. WHITE ACCESSIBLE PARKING SYMBOL. WHITE ACCESSIBLE FARKING STINDOL. WHITE PAINT LETTERING 'NO PARKING FIRELANE'. GRADE TO DRAIN. RESTORE DISTURBED SOIL WITH TOPSOIL, SEED, FERTILIZER, & EROSION MAT. 203' – 8" C900 STO @ 0.8%. DEFLECT PIPE AT SOUTH DOWNSPOUT TO MAINTAIN ALIGNMENT (END OF PROPOSED PIPE TO MATCH LOCATION OF END OF EXISTING PIPE) 10. 55' - 8" C900 STO @ 0.5% 11. 30" CONCRETE YARD DRAIN. CENTER ON MIDDLE DOWNSPOUT. 12. 8" PLASTIC YARD DRAIN. PLACE 4" RIPRAP FROM END OF CURB TO STRUCTURE. 13. LOW LAWN AREA. TO BE FILLED WITH TOPSOIL FROM EDGE OF PAVEMENT TO 10' SOUTH OF EDGE OF PAVEMENT. RESTORE WITH SEED, FERTILIZER, AND EROSION MAT. 14. 25' RIPRAP (4" RIPRAP) SWALE AT 1% FROM EDGE OF EXISTING POND TO END OF PROPOSED STO PIPES. 15. DIRECT DOWNSPOUTS TO DRAIN INTO YARD DRAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HOURS PRIOR TO EXCAVATION. ALL PARKING STALL SIZES IN THE SOUTH LOT SHALL BE 9'-0" X 18'-0" UNLESS OTHERWISE NOTED. ALL PARKING STALLS IN THE NORTH LOT SHALL BE 10'-0" X 18'-0" UNLESS OTHERWISE NOTED. SAWCUTS ARE INCIDENTAL TO THE PROJECT. GENERAL CONTRACTOR TO RESTORE ANY LAWN AREAS THAT ARE DISTURBED BY GONSTRUCTION. AREAS TO BE RESTORED WITH TOPSOIL, SEED, FERTILIZER, AND PARKING STALL COUNT PROPOSED STALLS: 44 STANDARD, 2 HANDICAP, 46 TOTAL STALLS



EROSION & SEDIMENT CONTROL PLAN

CONTACT INFORMATION:

LANDOWNER'S REPRESENTATIVE:

	TOWN OF NEENAH 1600 BREEZEWOOD LANE NEENAH, WI 54956 ATTN: ELLEN SKERKE PHONE: (920) 886-7545
DESIGNER:	MCMAHON ASSOCIATES

P.O. BOX 1025 NEENAH, WI 54957-1025 BEN HAMBLIN, PROJECT ENGINEER PHONE: (920) 751-4200

BEST MANAGEMENT PRACTICES:

THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING, INSTALLING, MAINTAINING AND REMOVING BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS. THESE STANDARDS MAY BE FOUND ON THE DNR WEBSITE AT http://www.dnr.state.wi.us/org/water/wm/nps/stormwater/techstds.htm. RIP-RAP AND DE-WATERING SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BMP HANDBOOK UNTIL TECHNICAL STANDARDS 1061 AND 1065 ARE COMPLETED BY THE DNR. THE MINIMUM BEST MANAGEMENT PRACTICES SPECIFIED FOR THIS PROJECT ARE AS FOLLOWS: [] LAND APPLICATION OF POLYACRYLAMIDE (1050) DE-WATERING (1061) [] WATER APPLICATION OF POLYMERS (1051) [] DITCH CHECK (1062) [X] NON-CHANNEL EROSION MAT (1052) SEDIMENT TRAP (1063) [] CHANNEL EROSION MAT (1053) [] SEDIMENT BASIN (1064) [] VEGETATIVE BUFFER (1054) [X] RIP-RAP (1065)

- [] SEDIMENT BALE BARRIER (1055)
- [] SILT FENCE (1056)
- [] TRACKING PAD & TIRE WASHING (1057)
- [] MULCHING (1058)
- [X] SEEDING (1059)
- [X] STORM DRAIN INLET PROTECTION (1060)

- [] CONSTRUCTION DIVERSION (1066)
- [] GRADING PRACTICES (1067
- [X] DUST CONTROL (1068)
- TURBIDITY BARRIER (1069)
- [] SILT CURTAIN (1070)
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES AND IMPLEMENTING BEST MANAGEMENT PRACTICES TO DO THE FOLLOWING TO THE MAXIMUM EXTENT PRACTICABLE:
- A. PRESERVE EXISTING VEGETATION WHERE POSSIBLE. TEMPORARILY STABILIZE EXPOSED SOILS THAT WILL NOT BE ACTIVE FOR 30 DAYS OR MORE. POLYACRYLAMIDE, MULCHING, SEEDING AND GRAVELING MAY BE USED TO TEMPORARILY STABILIZE EXPOSED SOILS.
- B. DIVERT CLEAR WATER AWAY FROM EXPOSED SOILS USING CONSTRUCTION DIVERSIONS.
- C. MANAGE SHEET FLOW THAT IS NOT CONTROLLED WITH A SEDIMENT TRAPPING DEVICE. SILT FENCE IS USED TO MANAGE SHEET FLOW. GRADING PRACTICES MAY BE USED TO SUPPLEMENT THE SILT FENCE.
- D. MANAGE CONCENTRATED FLOW WITH SEDIMENT TRAPPING DEVICES. STORM DRAIN INLET PROTECTION AND A SEDIMENT BASIN ARE USED TO MANAGE CONCENTRATED FLOW. POLYMERS ARE USED FOR THE SEDIMENT BASIN TO ENHANCE TRAPPING.
- E. MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ANY ONE TIME.
- F. PROTECT INLETS FROM RECEIVING SEDIMENT WITH STORM DRAIN INLET PROTECTION.
- G. PREVENT TRACKING OF SEDIMENT ONTO ROADS AND PAVED SURFACES USING TRACKING PADS AND/OR TIRE WASHING. MINIMIZE TRACKING AT ALL SITE EXITS AND ENTRANCES.
- H. CLEANUP OFFSITE SEDIMENT DEPOSITS AT THE END OF EACH WORK DAY & BEFORE A RAIN.
- I. MANAGE THE USE, STORAGE AND DISPOSAL OF CHEMICALS, CEMENT, CONCRETE AND OTHER COMPOUNDS AND MATERIALS TO PREVENT THEIR DISCHARGE INTO THE DRAINAGE SYSTEM.
- J. STABILIZE DRAINAGE WAYS AND EROSIVE DISCHARGE LOCATIONS WITH CHANNEL EROSION MAT, MULCHING, SEEDING, DITCH CHECKS & RIP-RAP AS SOON AS POSSIBLE.
- K. PERMANENTLY STABILIZE EXPOSED SOILS WITH NON-CHANNEL EROSION MAT, MULCHING AND SEEDING AS SOON AS POSSIBLE.
- L. CONTROL AND MINIMIZE DUST FROM VEHICULAR TRAFFIC AND WIND EROSION. PRESERVING VEGETATION, MULCHING, SEEDING, WATERING, GRADING PRACTICES, POLYACRYLAMIDE, SOIL STABILIZERS, CHLORIDES, & BARRIERS MAY BE USED FOR DUST CONTROL.
- M. PREVENT THE DISCHARGE OF SEDIMENT AS PART OF DE-WATERING. GEOTEXTILE BAGS. SEDIMENT TANKS, SEDIMENT TRAPS, SEDIMENT BASINS, AND FILTRATION SYSTEMS MAY BE USED FOR DE-WATERING. POLYMERS ARE TO BE USED TO ENHANCE SEDIMENT TRAPPING.
- N. SOIL TYPES AT MAHLER PARK, PER NRCS SOIL MANUAL, ARE MANAWA SILTY CLAY LOAM (MaA), AND WHALAN SILT LOAM (WhB), A TYPE "D" AND "C" SOIL, RESPECTIVELY. DEPTH TO GROUNDWATER IS < 80".
- O. SOIL TYPES AT NEENAH TOWN HALL, PER NRCS SOIL MANUAL, IS NEENAH SILTY CLAY LOAM (NhA) AND MENASHA CLAY, BOTH TYPE "D" SOILS. DEPTH TO GROUNDWATER IS 0-12".

EROSION CONTROL NOTES

- DISTURBING ACTIVITIES.
- DISTURBING ACTIVITIES.
- LONG AS POSSIBLE.
- RAIN EVENTS.
- STANDARD 1061.
- SYSTEM.

- BEEN REACHED.
- COMPLETED.

1. THIS PLAN COVERS PARKING LOT MILLING & REPAVING.

2. OBTAIN A STREET EXCAVATION PERMIT FOR ALL WORK WITHIN THE PUBLIC RIGHT OF WAY. OBTAIN AN EROSION & SEDIMENT CONTROL PERMIT PRIOR TO COMMENCING LAND

3. EROSION CONTROL PLAN DESIGN CRITERIA, STANDARDS AND SPECIFICATIONS: ALL EROSION CONTROL MEASURES SHALL AT A MINIMUM, COMPLY WITH THE DESIGN CRITERIA, STANDARDS, AND SPECIFICATIONS FOR EROSION CONTROL BASED ON ACCEPTED DESIGN CRITERIA, STANDARDS, AND SPECIFICATIONS IDENTIFIED IN THE LATEST EDITION OF THE DEPARTMENT OF NATURAL RESOURCES' TECHNICAL STANDARDS AND BY THE REQUIREMENTS OF THE WINNEBAGO COUNTY EROSION CONTROL ORDINANCE. AS INDIVIDUAL PRACTICES FROM WI-DNR CONSTRUCTION SITE BMP HANDBOOK ARE PUBLISHED AS WI-DNR TECHNICAL STANDARDS, THE STANDARD SHALL GOVERN.

4. THE CONTRACTOR SHALL NOTIFY THE TOWN OF NEENAH AND WINNEBAGO COUNTY EROSION CONTROL INSPECTOR AT LEAST 2 DAYS PRIOR TO THE START OF SOIL

5. EROSION & SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED OR INSTALLED BEFORE LAND DISTURBING CONSTRUCTION ACTIVITIES BEGIN. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION UNTIL THE SITE IS STABILIZED BY VEGETATION OR OTHER APPROVED MEANS. FINAL STABILIZATION ACTIVITIES SHALL COMMENCE WHEN LAND DISTURBING ACTIVITIES CEASE & FINAL GRADE HAS BEEN REACHED ON ANY PORTION OF THE SITE.

ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS

ON-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES, INCLUDING SOIL TRACKED BY CONSTRUCTION TRAFFIC, SHALL AT A MINIMUM BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED IMMEDIATELY. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM ADJACENT STREETS BY THE USE OF MECHANICAL OR MANUAL SWEEPING OPERATIONS ONCE A WEEK AT A MINIMUM AND BEFORE IMMINENT

8. ALL SEDIMENT LADEN WATER PUMPED FROM THE SITE SHALL BE TREATED BY A TEMPORARY SEDIMENT BASIN OR BE FILTERED BY OTHER APPROVED MEANS. WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS. DEWATERING TO MEET THE REQUIREMENTS OF DNR TECHNICAL

DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREA, INCLUDING SOIL STOCKPILES LET INACTIVE FOR MORE THAN 10 DAYS, SHALL AT A MINIMUM BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHERS METHODS APPROVED BY THE WINNEBAGO COUNTY EROSION CONTROL INSPECTOR. STRAW MULCH SHALL BE ANCHORED BY "CRIMPING" THE STRAW INTO THE SOIL.

10. WASTE MATERIAL GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO A RECEIVING WATER OR STORM SEWER

11. IN THE CASE OF LATE SEASON AND WINTER CONSTRUCTION, RESTORATION/LAND-SCAPING OF THE SITE SHALL ALL OCCUR NO LATER THAN JUNE 1 OF THE NEXT CONSTRUCTION SEASON. EROSION CONTROL MEASURES SHALL REMAIN INTACT UNTIL FINAL RESTORATION OF THE SITE IS COMPLETE. FABRIC INSIDE THE INLET AND CATCH BASIN GRATING SHALL BE REMOVED AS SOON AS FREEZING WEATHER EROSION CONTROL PRACTICES REMOVED OR DAMAGED DUE TO WINTER WEATHER SHALL BE REPLACED IN THE SPRING IMMEDIATELY AFTER THE THAW.

12. EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF THE WORK DAY.

13. INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL OF 0.5 INCHES OR MORE AND MAKE NEEDED REPAIRS.

14. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AT THE CONCLUSION OF CONSTRUCTION AFTER STABILIZATION OF DISTURBED SOIL HAS OCCURRED.

15. THE EXISTING GRASS STREET TERRACE WITHIN THE TOWN RIGHT OF WAY SHALL BE MAINTAINED AS A BUFFER THROUGHOUT CONSTRUCTION. AT A MINIMUM, THE GRASS TERRACE SHALL BE RESTORED WITH TEMPORARY SEED (OATS/ RYE) AND MULCHED WITHIN 10 DAYS OF THE COMPLETION OF ALL LATERAL INSTALLATIONS AND OTHER CONSTRUCTION ACTIVITY. IF THE TERRACE IS NOT TO BE RESTORED DURING FINAL LANDSCAPING, A PERMANENT SEED MIX SHALL BE INSTALLED.

16. ADJACENT STREET INLETS SHALL BE PROTECTED WITH WISDOT TYPE D-M INLET PROTECTION. INLET PROTECTION SHALL BE REMOVED WHEN DISTURBED AREAS FLOWING TO THE INLET ARE RESTORED OR HAVE OTHER PROTECTIVE MEASURES IN PLACE.

17. FILLED/DISTRURBED OUTLOTS SHALL BE SEEDED WITHIN 10 DAYS AFTER GRADES HAVE

18. SILT FENCE AND OTHER EROSION CONTROL DEVICES THAT ARE TEMPORARILY REMOVED FOR CONSTRUCTION ACTIVITY MUST BE REPLACED AS SOON AS THOSE ACTIVITIES ARE

19. CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISPOSING OF EROSION CONTROL DEVICES ONCE CONSTRUCTION IS COMPLETED AND VEGETATION HAS BEEN ESTABLISHED.

20. AIRBORNE DUST SHALL BE CONTROLLED BY WATERING ALL DISTURBED SOIL AREAS AND GRAVEL DRIVES WHERE WHEEL TRAFFIC IS PRESENT AND MOISTURE CONTENT OF THE SURFACE IS LOW ENOUGH TO ALLOW DUST EMISSION.

21. CONTRACTOR TO ESTABLISH TEMPORARY CONCRETE WASHOUT AREA IN ACCORDANCE WITH WI DNR AND WINNEBAGO COUNTY REQUIREMENTS.

INSPECTION & MAINTENANCE:

CONSTRUCTION INSPECTION & MAINTENANCE PLAN

ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5 INCHES OR GREATER. CONTRACTOR SHALL MAINTAIN WEEKLY WRITTEN REPORTS OF ALL INSPECTIONS AS NECESSARY TO MEET WINNEBAGO COUNTY'S ORDINANCE, UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND RECEIVED FINAL ACCEPTANCE FROM THE COUNTY. LOGS ARE TO BE KEPT ON SITE, AND SHALL INCLUDE THE FOLLOWING:

- TIME, DATE AND LOCATION OF INSPECTION.
- PERSONNEL COMPLETING THE INSPECTION.
- SPECIFIC ASSESSMENT OF EROSION CONTROL DEVICES.
- DATE AND TIME WHEN THE REQUIRED MAINTENANCE OR REPAIRS WERE MADE.

CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS FOR STRUCTURAL DAMAGE, EROSION, SEDIMENT ACCUMULATION, OR ANY OTHER UNDESIRABLE CONDITION. CONTRACTOR SHALL REPAIR ANY DAMAGED STRUCTURES PRIOR TO THE END OF THE WORKING DAY. SEDIMENT SHALL BE REMOVED FROM EROSION CONTROL DEVICES WHEN THE DEPTH OF SEDIMENT HAS ACCUMULATED TO ONE HALF THE HEIGHT OF THE DEVICE. ERODED OR TRACKED SEDIMENT SHOULD BE CLEANED FROM ROADWAYS BEFORE THE END OF THE BUSINESS DAY ON WHICH IT ACCUMULATED.

IN ADDITION TO THESE REQUIREMENTS, THE CONTRACTOR IS REQUIRED TO MEET ALL ADDITIONAL WINNEBAGO COUNTY AND TOWN OF NEENAH ORDINANCES AS STATED ON PERMITS AND ON THE CONSTRUCTION PLAN SHEETS.

AMENDMENTS:

THE CONTRACTOR IS RESPONSIBLE FOR AMENDING THE EROSION & SEDIMENT CONTROL PLAN IF: THERE IS A CHANGE IN CONSTRUCTION. OPERATION OR MAINTENANCE AT THE SITE WHICH HAS THE REASONABLE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS: THE ACTIONS REQUIRED BY THE PLAN FAIL TO REDUCE THE IMPACTS OF POLLUTANTS CARRIED BY CONSTRUCTION SITE RUNOFF; OR IF THE COUNTY NOTIFIES THE APPLICANT OF CHANGES NEEDED IN THE PLAN. THE COUNTY SHALL BE NOTIFIED 5 WORKING DAYS PRIOR TO MAKING CHANGES TO THE PLAN.

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING BEST MANAGEMENT PRACTICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES BY THE END OF THE WORK DAY. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING BEST MANAGEMENT PRACTICES TEMPORARILY REMOVED FOR CONSTRUCTION ACTIVITY AS SOON AS THOSE ACTIVITIES ARE COMPLETED. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISPOSING OF TEMPORARY BEST MANAGEMENT PRACTICES AFTER CONSTRUCTION IS COMPLETE AND PERMANENT VEGETATION IS ESTABLISHED.

KEY NOTES

CONSTRUCTION INSPECTION & MAINTENANCE PLAN All temporary and permanent erosion and sediment controls shall be inspected by the contractor every 7 days and within 24 hours after a precipitation event of 0.5 inches or greater. Contractor shall maintain weekly written reports of all inspections as necessary to meet the County ordinance, until the site has undergone final stabilization and received final acceptance from Winnebago County. Logs are to be kept on site, and shall include the following • Time, date and location of inspection. • Personnel completing the inspection. • Current phase of the construction at the time the inspection is occurring. channels, ditches, or swales in order to allow larger sediment particles to settle. • Specific assessment of erosion control devices. • Specific description of maintenance or repair required on the erosion control streams, channels, ditches, swales, culvert outlets, or storm sewer outlets. devices. • Date and time when the required maintenance or repairs were made. time to allow larger sediment particles to settle out. Contractor shall inspect erosion and sediment controls for structural damage, erosion, roads by vehicles, equipment, and storm water runoff. sediment accumulation, or any other undesirable condition. Contractor shall repair any damaged structures prior to the end of the working day. Sediment shall be equipment and storm water runoff. removed from erosion control devices when the depth of sediment has accumulated to one half the height of the device. Eroded or tracked sediment should be cleaned from flow velocity. Mulching also fosters grass seed growth. Mulching shall be performed within 7 days of roadways before the end of the business day on which it accumulated. the end of active soil disturbance. . <u>Seeding</u> - Purpose is to stabilize disturbed areas by planting grass seed in order to minimize erosion In addition to these requirements, the contractor is required to meet all additional and reduce runoff velocity. Seeding shall be performed within 7 days of the end of active soil Winnebago County and Town of Neenah regulations as stated on permits and on the disturbance. construction plan sheets. POST CONSTRUCTION WATER QUALITY, PEAK FLOW Mahler Park site eventually drains to Lake Winnebago, which is listed on the State's 303d list of impaired waters. Town Hall drains to The Neenah Slough. The use of good housekeeping maintenance practices will help to maintain the quality of the Lake and slough: Install erosion control provisions as shown on the plan. (Day 1, August 14th) • Fertilizers used on the lawn during the construction restoration process, and during post construction site maintenance, are to have low/no phosphorous provisions are installed. (Day 1, August 14th) component. At the discretion of the owner, fertilizer should be based on a soil Pulverize existing asphalt pavement. Grade site as needed. (Days 1-5, August 14-18) sample from a trusted soil scientist. • At Town Hall, use of the existing pond will reduce erosion and peak flows. (Days 11-15, August 28 - September 1) provisions are installed. (Day 1, September 5th) (Days 9-14, September 15-22)

6. <u>Mulching</u> - Purpose is to reduce erosion by dissipating raindrop impact energy and reducing sheet

CONSTRUCTION EROSION & SEDIMENT CONTROL PRACTICES The following erosion and sediment control practices apply only to the construction associated with the generator building at Lift Station #3. Site development equipment that is expected to be used will include backhoes, front end loaders and bulldozers. All erosion and sediment control practices shall be in accordance with the Wisconsin Construction Site Technical Standards. Erosion and sediment control practices shall be in place prior to disturbing the site. Erosion and sediment control practices that **may** be used for this project are described as follows: 1. <u>Clear Stone, Hay Bale or Manufactured Ditch Check</u> - Purpose is to reduce runoff velocity in 2. Rip-Rap Protection - Rip-rap and filter fabric prevent scour and erosion from occurring within 3. Silt Fence - Purpose is to intercept and detain sheet flow runoff from disturbed areas for sufficient 4. Construction Entrance - Construction entrances reduce the amount of mud transported onto public 5. Street Sweeping - Street sweeping collects mud that is transported onto public roads by vehicles. 8. Erosion Blankets - Erosion blankets protect disturbed slopes and ditches from erosion. ANTICIPATED CONSTRUCTION GRADING & EROSION CONTROL PLAN This sequence is approximate. Days are measured as calendar days, not working days. Work tasks could be done concurrently. Construction schedule assumes Town Hall to be completed first. 1. Hold preconstruction conference for Town Hall. 3. Contact the Town of Neenah to notify them that the site grading is to begin and erosion control 5. Install storm structures and downspout lines (Days 6-8, August 21-23). 6. Pour concrete pavement and curb and gutter (Days 9-10, August 24-25). 7. Fine grade and pave asphalt parking lot. Restore all disturbed lawn area with seed and erosion mat. 8. Remove all erosion control measures once soil is at least 80% stabilized. 9. Hold preconstruction conference for Mahler Park. 10. Install erosion control provisions as shown on the plan. (Day 1, September 5th) 11. Contact the Town of Neenah to notify them that the site grading is to begin and erosion control 12. Excavate perimeter of parking lot (Days 1-4, September 5-8) 13. Pulverize existing asphalt pavement. Grade site as needed. (Days 5-7, September 11-13) 14. Install storm culverts (Day 8, September 14). 15. Fine grade and pave asphalt parking lot. Restore all disturbed lawn area with seed and erosion mat. 16. Remove all erosion control measures once soil is at least 80% stabilized.

• CURRENT PHASE OF THE CONSTRUCTION AT THE TIME THE INSPECTION IS OCCURRING.

SPECIFIC DESCRIPTION OF MAINTENANCE OR REPAIR REQUIRED ON THE EROSION CONTROL DEVICES.

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	MAHLER PARK & TOWN HALL – REPAVING PROJECTS		TOWN OF NEENAH, WINNEBAGO COUNTY, WI		EROSION CONTROL NOTES			
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PROJECT NO. N0003-09-23-00245 DATE								
MAY 2023 Sheet NO. 10								

