

TOWN OF NEENAH TOWN BOARD
Meeting Agenda

DATE: Monday, May 22, 2023
TIME: 7:00 pm
LOCATION: 1600 Breezewood Lane

The meeting will also be offered virtually via ZOOM.

Meeting ID : 891 4939 3233 Passcode: 151843 Phone (312) 626-6799

[Zoom Link: https://us02web.zoom.us/j/89149393233?pwd=YkV3M0xDSzhhWkFRMIJTeXErNGNldz09](https://us02web.zoom.us/j/89149393233?pwd=YkV3M0xDSzhhWkFRMIJTeXErNGNldz09)

TOWN BOARD MEETING

1. CALL TO ORDER TOWN BOARD
2. APPROVE MINUTES
May 8, 2023 Town Board Meeting
3. PUBLIC FORUM
4. PUBLIC FORUM FOR RECOGNIZED MUNICIPAL AND COUNTY OFFICIALS
5. CORRESPONDENCES
 - a. Winnebago County Solid Waste April 2023 Monthly Tonnage Report
6. DISCUSSION / ACTION
 - a. Approve Vouchers, Payroll and Bank Transactions May 22, 2023.
 - b. Approve Resolution 2023-07
Applicant: Hot Head Properties LLC
Agent: None
Location of Premises Affected: 1577 Deerwood Drive, Neenah Wisconsin
Tax Parcel No: 010-0203-03
Current Zoning: B-3 Regional Business
Proposed Zoning: I-1 Light Industrial Business District
Explanation: Applicant is requesting a Zoning Map Amendment to rezone a parcel from B-3 (Regional Business) to I-1 (Light Industrial)
 - c. Approve Engineering Plans for Mahler Park Road and Town Hall Parking Lot.
 - d. Discussion and possible action regarding Oakridge Road and Larsen Road interim maintenance before reconstruction projects are started.
7. FUTURE AGENDA TOPICS AND MEETINGS
 - a. Board of Review , Thursday May 25, 2023 10:00 a.m.
 - b. Memorial Day Holiday Monday May 29, 2023 – Office Closed
 - c. Monday June 5, 2023 6:00 p.m. at Franzoi Park
 - d. Fire Department Meeting, Wednesday, June 7, 2023 at 6:00 p.m.
 - e. Next Regularly Scheduled Town Board Meeting, Monday June 12, 2023, at 7:00 p.m.
8. OLD BUSINESS
 - a. Status update on Quit Claim Deed for parcel 010-008003 John Petcoff.
9. NEW BUSINESS
10. ADJOURN OPEN SESSION
11. CONVENE INTO CLOSED SESSION
The Town Board will convene into closed session pursuant to Wis. Stats §19.85 (1) (c) Considering employment, promotion, compensation or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility, and pursuant to Wis. Stats §19.85 (1) (g) Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved.
ROLL CALL VOTE
 - a. During the closed session, the Town Board will discuss matters related to appointed or elected officials that qualify for the above-mentioned exemptions.
 - b. During the closed session the Town Board will discuss nuisance properties in the Town of Neenah.
12. ADJOURN CLOSED SESSION
The Town Board will not reconvene into open session
Closed Session Contemplated: YES

Ellen Skerke, Administrator-Clerk-Treasurer
May 18, 2023

Upon request, reasonable auxiliary aids and services will be provided for disabled individuals. If accommodations are required, please provide adequate advance notice to Town Clerk at 920-725-0916. A quorum of other Town Commissions/Committees or Sanitary Commissions may attend, but no official action will be taken by them.

Notice was posted on May 18, 2023 at www.townofneenah.com, Town of Neenah Municipal Building, 1600 Breezewood Lane.

TOWN OF NEENAH TOWN BOARD MEETING

April 24, 2023

Regular Meeting held at Town Hall, 1600 Breezewood Lane, Neenah, WI 54956 and offered via Zoom.

Present: Chairman Robert Schmeichel, Supervisor David Bluma, Supervisor Brooke Cardoza, Supervisor James Weiss, and Supervisor Thomas Wilde.

Also in Attendance: Joint Municipal Court Judge Dave Pavlik, Fire Chief Chad Dolphin, Jeremy Kwiatkowski, Deputy Clerk-Treasurer Vicki Boushele, and Administrator-Clerk-Treasurer Ellen Skerke

Also in Attendance via Zoom: Carrie Sturn.

R. Schmeichel called the meeting to order at 7:00 pm. Pledge of Allegiance was recited.

Approval of Minutes

Motion: B. Cardoza/ D. Bluma to approve April 24, 2023 Town Board meeting minutes.

Motion carried 5:0:0.

Public Forum

- None

Public Forum for Recognized Municipal and County Officials

- Dave Pavlik, recently elected as Judge to the Joint Municipal Court introduced himself and provided some background on his credentials. There will be a future introductory meeting with the Judge, Clerk of Courts and Municipal Clerks to review the citation process.

Correspondences

- Building Permit Report – April 2023
- Winnebago County Land and Water letter regarding permit requirements

Discussion/Action.

Vouchers Payroll and Bank Transactions

Approve Vouchers, Payroll and Bank Transactions May 8, 2023.

Motion: B. Cardoza / J. Weiss to approve.

B. Cardoza questioned expense to be reimbursed to E. Skerke. E. Skerke explained they are the annual charges for the QuickBooks program and Zoom Room subscription.

Motion Carried 5:0:0.

Resolutions

Approve Resolution 2023-08, Appropriating American Rescue Plan Act Funds in the amount of \$162,535 for Keating Park Restroom

Motion: J. Weiss / T. Wilde to approve.

Motion Carried 5:0:0.

Approve Resolution 2023-09, Appropriating American Rescue Plan Act Funds in the amount of \$204,700 for Town Hall Improvements.

Motion: D. Bluma / B. Cardoza to approve.

- General discussion regarding the plan including discussion with Chief Dolphin about the Fire Department office space.

Motion Carried Roll Call Vote, 4:1:0. D. Bluma: Aya, B. Cardozo: Nay, R. Schmeichel: Aye, J. Weiss: Aye, T. Wilde: Aye.

Approve Resolution 2023-10, Appropriating American Rescue Plan Act Funds in the amount of \$136,900 for Fire Department Apparatus Bay Improvements

- C. Dolphin stated this plan needs additional discussion, it may not be the best option for the Fire Department.
- J. Weiss requested a tour of the Apparatus Bay to review the plan as presented.
- This item was tabled, the Town Board and C. Dolphin will tour the Apparatus Bay following the business portion of the meeting.

Oakridge Road

Discuss Oakridge Road interim improvements

- Several options for short term maintenance for Oakridge Road and Larsen Road were provided to the Town Board including patch as needed or ½ inch scratch coat or 1inch scratch coat. Areas to be addressed:
 - Oakridge Road from Tullar Road west to the CB/Oakridge Rd roundabout
 - Tullar Road from the CD/Oakridge Rd roundabout to Clayton Avenue
- Via email, Road Superintendent Glenn Armstrong recommends the second option on Oakridge Road for a ½ inch scratch coat, although he would consider ‘patch as needed’ option.
- E. Skerke pointed out that the 2023 budget included a line item of \$40,000 for Oakridge Road maintenance. However, we have already exceeded the budget for chip sealing and we do not yet know where Mahler Park Road costs will come in compared to budget.
- E. Skerke noted that the City will put on a 2” layer on their section of Oakridge Road east of Tullar Road and the Town has some jurisdiction in that area of the road, could incur some costs there.
- By general consensus, the Board would like to have further discussion with Glenn Armstrong at the next Town Board meeting (5-22-2023)

Operator’s Licenses

Approve Operators Licenses for Abigail Abitz, Marissa Benavidez, Kayla Bentle, Preston Cannedy, Stacey Chrisman, Melissa Pabon, Hannah Reissmann. (7 individuals)

Motion: B. Cardoza / D. Bluma to approve all seven applications

E. Skerke stated that everything checked out on each individual, background checks were OK and each has completed the required Responsible Servers course.

Motion Carried 5:0:0.

Future Agenda Topics and Meetings

- Sanitary District #2 Commissioner Meeting, Tuesday May 9, 2023 at 7:00 p.m.
- Open Book for 2023 Assessment Rolls, Friday May 12, 2023 10:00 am – 12:00 p.m., via phone, email or in person by appointment.
- Plan Commission Meeting, Monday May 15, 2023 at 7:00 p.m.
- Next Regularly Scheduled Town Board Meeting, Monday May 22, 2023, at 7:00 p.m.

Old Business

- T. Wilde has concerns with vehicles parking on South Park Avenue during the last two weekends. The Town needs to enforce “No Parking” on South Park Avenue, could contact the Sheriff’s Department for enforcement, and add additional No Parking signs on the road when there is a large crowd scheduled. General discussion about allowing parking on the grass inside Mahler Park, general consensus was that is not an option. Moving forward, the clubs need to schedule accordingly to limit the size of events based on the amount of parking available.

New Business

- None

Tour the Fire Apparatus Bay

The Town Board, Fire Chief Dolphin and meeting guests toured the Apparatus Bay. C. Dolphin reviewed the status of the three fire trucks,

- Engine 239 was purchased in 2005, is the first engine out when a call comes in.
- The Tender was purchased in 2013.
- Engine E39 was purchased in 1995 and is the vehicle that needs to be replaced at this time. E39 is not equipped with jaws of life.

C. Dolphin reviewed the protocol for the order of vehicles used when an emergency call comes in.

Adjourn Meeting

Motion: J. Weiss / B. Cardoza to adjourn. Motion carried. Meeting adjourned at 8:26 p.m.

Respectfully submitted,



Ellen Skerke
Administrator-Clerk-Treasurer

Approved: DRAFT – Pending Approval

Voucher List Authorization May 22, 2023

Bank Transfer (Transaction List)

<u>Date</u>	<u>From</u>	<u>To</u>	<u>Amount</u>	<u>Reason</u>
5/23/2023	General MM	Checking	\$ 62,000.00	5/22/2023 Vouchers

Check Details:

Accounts Payable: \$ 61,842.92

Notification of New Vendors

Payroll	Payroll	\$ -
	Expense Reimburse	\$ -
	Gross Payroll	\$ -
	Net Payroll	\$ -

Deposit Detail

<u>Date</u>	<u>Where</u>	<u>Amount</u>
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Paid via Bank Transfer:

Nationwide:	\$ -
Federal Tax/Medicare:	\$ -
State Taxes:	\$ -
Wisconsin Retirement:	\$ -
Wisconsin Health Insurance	\$ -

Account Balances as of May 23, 2023 - after requested transfers per this Voucher List

	PROSPERA CU	Prospera CD	BNY Mellon - Pershing	Total
Checking	\$ 2,908	\$ -		
Membership account	\$ 25	\$ -		
General MM	\$ 496,498	\$ 505,709	\$ 754,345	\$ 1,756,552
Taxes Collected	\$ 9,556	\$ 250,000		
Impact Fee	\$ 7,510	\$ -		
Tullar Rd Fund	\$ 35,059	\$ -		
Storm Water	\$ 392,447	\$ 251,903	\$ 502,681	\$ 1,147,030
TOTAL	\$ 944,003	\$ 1,007,612	\$ 1,257,026	

GRAND TOTAL	\$ 3,208,640
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Note: General Town funds includes \$369,166 in ARPA Funds.

_____ Schmeichel _____ Bluma _____ Cardoza _____ Weiss _____ Wilde

9:03 AM
05/19/23

Town of Neenah
Check Detail
May 23, 2023

Accounts Payable
\$ 61,842.92

Date	Num	Name	Memo	Account	Paid Amou...
05/23/2023	28344	Aberdean Consult...		11010-1 · Checking - Prospera ...	
05/22/2023	67069		service desk - remote	51420-4 · Office Expenses	-36.25
05/22/2023	67189		May billing	51420-4 · Office Expenses	-441.00
TOTAL					-477.25
05/23/2023	28345	Aquatic Biologists...		11010-1 · Checking - Prospera ...	
05/22/2023	277085		Labor / Troubleshoot / I...	55200-8 · Conservancy Park Exp...	-107.50
TOTAL					-107.50
05/23/2023	28346	Bowmar Appraisal...		11010-1 · Checking - Prospera ...	
05/22/2023	1230			51530-0 · Assessor Contract	-3,750.00
TOTAL					-3,750.00
05/23/2023	28347	BP Neenah Stand...	52210-4	11010-1 · Checking - Prospera ...	
05/22/2023	4/30/20...			52210-4 · Fire Dept. Fuel	-149.99
TOTAL					-149.99
05/23/2023	28348	City of Appleton		11010-1 · Checking - Prospera ...	
05/22/2023	11632		2023 Primary and Sprin...	51440-2 · Election Expenses	-35.85
TOTAL					-35.85
05/23/2023	28349	Dempsey Law Fir...		11010-1 · Checking - Prospera ...	
05/22/2023	69		Meadow Ln	51300-0 · Legal Services	-626.45
			Meetings	51300-0 · Legal Services	-350.00
			General	51300-0 · Legal Services	-243.00
TOTAL					-1,219.45
05/23/2023	28350	Harters Fox Valley...		11010-1 · Checking - Prospera ...	
05/22/2023	375425			53634-0 · Garbage Collection Ex...	-13,352.04
				53635-0 · Recycling	-4,184.70
05/22/2023	375430		Mahler Park	55200-6 · Parks - Harter's - Trash	-160.00
TOTAL					-17,696.74
05/23/2023	28351	McMahon Associa...		11010-1 · Checking - Prospera ...	
05/22/2023	801408		Design services for Ro...	51520-0 · Engineering Services	-22,644.00
TOTAL					-22,644.00
05/23/2023	28352	Village of Fox Cro...		11010-1 · Checking - Prospera ...	
05/22/2023	14579		Rocket way	53311-7 · Highway Projects	-4,939.20
TOTAL					-4,939.20
05/23/2023	28353	WE Energies		11010-1 · Checking - Prospera ...	

Town of Neenah

Check Detail

May 23, 2023

Date	Num	Name	Memo	Account	Paid Amou...
05/22/2023	457582...		Mahler	55200-7 · Parks - WE Energies	-125.79
			LED St lights	53420-0 · Street Lighting - All Ele...	-244.13
			St lights	53420-0 · Street Lighting - All Ele...	-1,568.53
			Fountain	55200-8 · Conservancy Park Exp...	-312.57
			Franzoi	55200-7 · Parks - WE Energies	-100.75
			Muni bldg	51420-8 · MB Utilities	-713.03
TOTAL					-3,064.80
05/23/2023	28354	Winnebago Cty. T...		11010-1 · Checking - Prospera ...	
05/22/2023	25192		April 2023 Services - C...	6-54400 · SW - Ditch Clean Out	-190.05
			April 2023 Services	53311-2 · Hwy Exp - Maintenanc...	-7,568.09
TOTAL					-7,758.14

Resolution 2023-07

FOR TOWN USE ONLY

TOWN ACTION FOR ZONING MAP AMENDMENT
TOWN OF NEENAH
WINNEBAGO COUNTY, WISCONSIN

RE: Petition for proposed zoning map amendment listed below affecting the Winnebago County Zoning Ordinance and the Office Map of the Town of NEENAH.

Owner(s): HOT HEAD PROPERTIES LLC

Agent: NONE

Parcel No.: 010-0203-03

Location of Premises Affected: 1577 DEERWOOD DR

Legal Description: Being part of the NE 1/4 of the NW 1/4 of Section 20, Township 20 North, Range 17 East, Town of Neenah, Winnebago County, Wisconsin.

Current Zoning: B-3 Regional Business

Proposed Zoning: I-1 Light Industrial

Explanation: Applicant is requesting a zoning change from B-3 (Regional Business District) to I-1 (Light Industrial District) for expansion of an existing business.

Resolved, by the Town Board of the Town of NEENAH, Winnebago County, Wisconsin, that the above indicated proposed amendment to the Town/County Zoning Code (Chapter 23) be and the same is hereby:

Approved Disapproved

TOWN FINDINGS:

- | | |
|--|--|
| <input type="checkbox"/> Town has an adopted land use plan | <input type="checkbox"/> Town does not have an adopted land use plan |
| <input type="checkbox"/> Action agrees with town land use plan | <input type="checkbox"/> Action does not agree with town land use plan |

Other: _____

I, Ellen Skerke, Town Clerk of the above named town, hereby certify that the foregoing is a true and correct copy of a resolution adopted by the Town Board of the Town of NEENAH.

DATED THIS _____ DAY OF _____, 20__

SIGNED: _____

INITIAL STAFF REPORT

Sanitation: Existing; Municipal

Overlays: Wetlands

Current Zoning: B-3 Regional Business

Proposed Zoning: I-1 Light Industrial

Surrounding Zoning: North: I-2;B-3; South: B-3; East: R-2; West: I-2;

THE FOLLOWING INFORMATION HAS BEEN PROVIDED BY THE OWNER/APPLICANT

Describe present use(s): Landscape/construction business

Describe proposed use(s): Rental unit(s) for construction trades. Existing business to remain in current building, new building to be rented as multiple "like trade" construction businesses.

Describe the essential services for present and future use(s): Existing sewer, water, electric to be used for new rental building.

Describe why the proposed use would be the highest and best use for the property: The proposed rental building would generate additional businesses to be located in the Neenah area which will increase revenue for area business. This building will also make use of the current "non-used" area which will increase the value of the property and generate more more tax revenue for the Town/County/State.

Describe the proposed use(s) compatibility with surrounding land use(s): Surrounding properties are zoned I-2 & B-3.

SECTION REFERENCE AND BASIS OF DECISION

23.7-5 Basis of Decision

Zoning map amendment initiated by a property owner. If a proposed zoning map amendment is initiated by a property owner and would change the zoning classification of a parcel not classified as A-1, the Planning and Zoning Committee in making its recommendation and the Board of County Supervisors in making its decision shall consider the following factors:

- (1) whether the amendment is consistent with the county's comprehensive plan, including any future land use maps or similar maps;
- (2) the extent to which the lot and structures on the subject property conform to the dimensional standards that apply to the proposed zoning district; and
- (3) any other factor not specifically or generally listed, but deemed appropriate by the committee or board given the particular circumstances.

PLAT OF SURVEY

A PART OF THE NE 1/4 OF THE NW 1/4 OF SECTION 20' T.20N., R.17E.,
TOWN OF NEENAH, WINNEBAGO COUNTY, WISCONSIN.

SURVEY PERFORMED PER DOCUMENT NO. 498857

PROPERTY DESCRIPTION

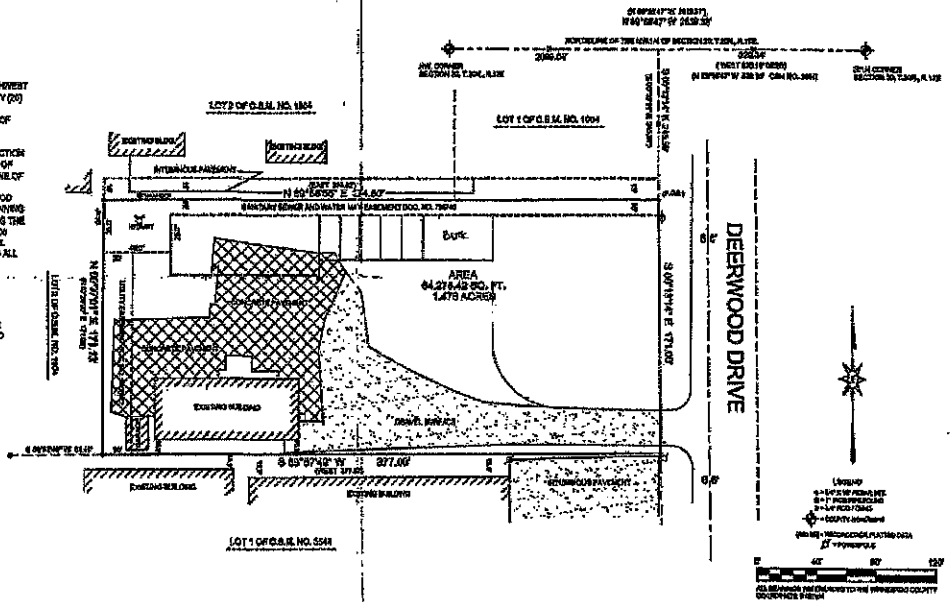
A PART OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4), SECTION TWENTY (20), TOWNSHIP TWENTY (20) NORTH, RANGE SEVENTEEN (17) EAST, TOWN OF NEENAH, WINNEBAGO COUNTY, WISCONSIN, CONTAINING 1.478 ACRES OF LAND AND BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 20, THENCE N 89° 07' 42" W, 542.6 FEET ALONG THE SOUTH LINE OF THE NE 1/4 OF SAID SECTION 20 TO A POINT ON THE WEST LINE OF DEERWOOD DRIVE AND ITS EXTENSION THERETO; THENCE S 89° 07' 42" W, 227.00 FEET ALONG THE WEST LINE OF DEERWOOD DRIVE AND ITS EXTENSION THERETO TO THE POINT OF BEGINNING; THENCE S 89° 07' 42" W, 143.0 FEET ALONG THE WEST LINE OF DEERWOOD DRIVE; THENCE S 89° 07' 42" W, 227.00 FEET; THENCE S 89° 07' 42" W, 143.0 FEET; THENCE ALONG THE WEST LINE OF DEERWOOD DRIVE AND ITS EXTENSION THERETO TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

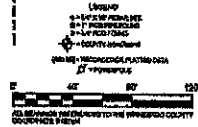
L. LAWRENCE C. KRIESCHER, WISCONSIN REGISTERED LAND SURVEYOR, HEREBY CERTIFIES THAT HE HAS SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE MAP SHOWN IS A TRUE AND ACCURATE REPRESENTATION THEREOF TO THE BEST OF HIS KNOWLEDGE AND BELIEF.

DATED THIS 27th DAY OF October, 2017.

Lawrence C. Kriescher
LAWRENCE C. KRIESCHER, WISCONSIN REGISTERED LAND SURVEYOR
LAWRENCE C. KRIESCHER



DEERWOOD DRIVE

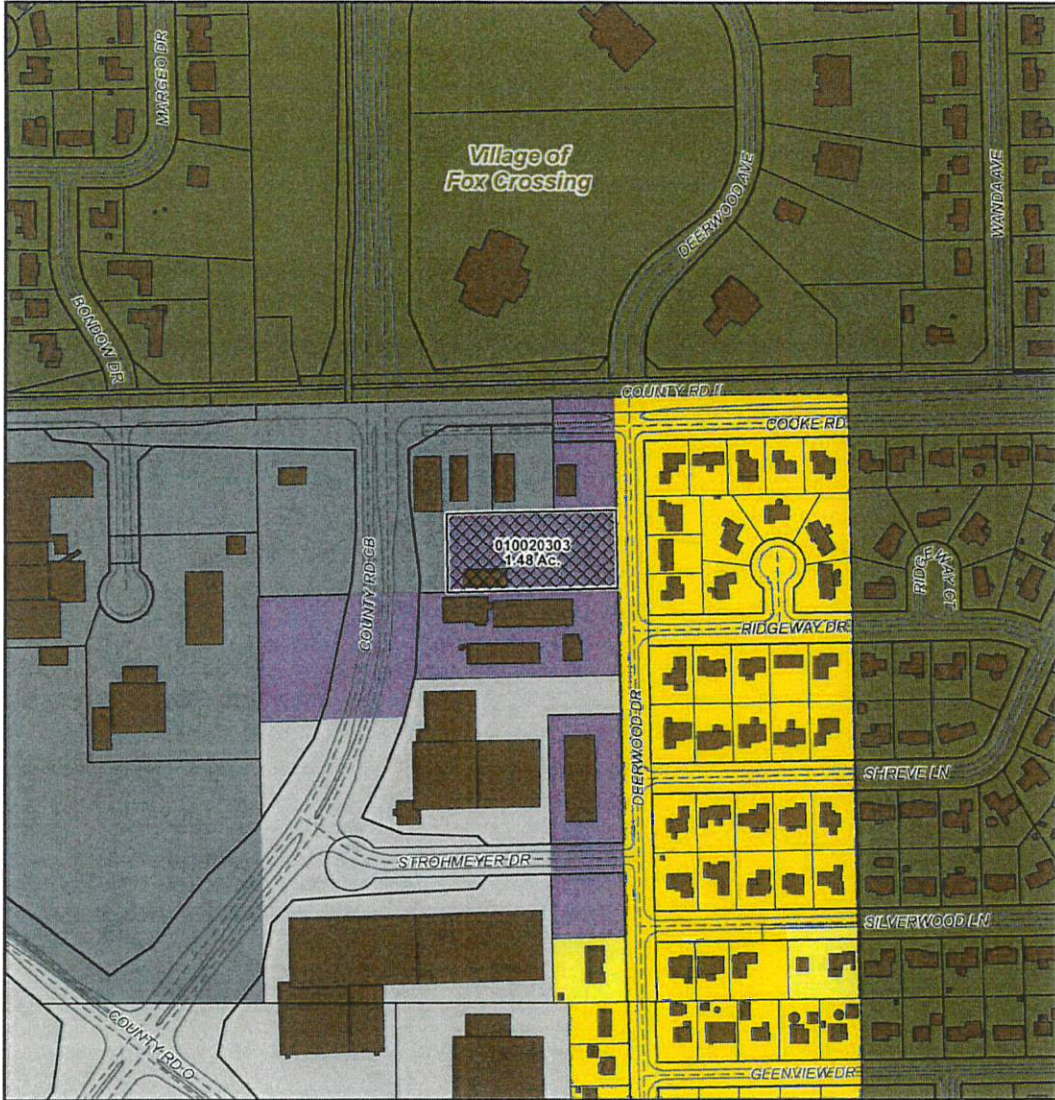


L.C. KRIESCHER AND ASSOCIATES LLC.
140 WEST MAIN STREET P.O. BOX 14 WINNECONNE, WI 54986
820-582-0133

BOUNDARY SURVEY & LAND DESIGN

SURVEY FOR:
STROHMEYER EXCAVATING CO.
1577 DEERWOOD DR.
NEENAH, WI 54956

PROJECT NO. 277847
FILED BY: MVL/DVS
DATE: 10/27/17
TOWN: 20N
RANGE: 17E
SECTION: 20
DATE: 10/27/17

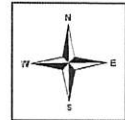


Application #23-ZC-6330

Date of Hearing:
May 30, 2023

Owner(s):
HOT HEAD PROPERTIES LLC

Subject Parcel(s):
010020303



Winnebago County
WINGS Project

Scale
1 inch : 300 feet

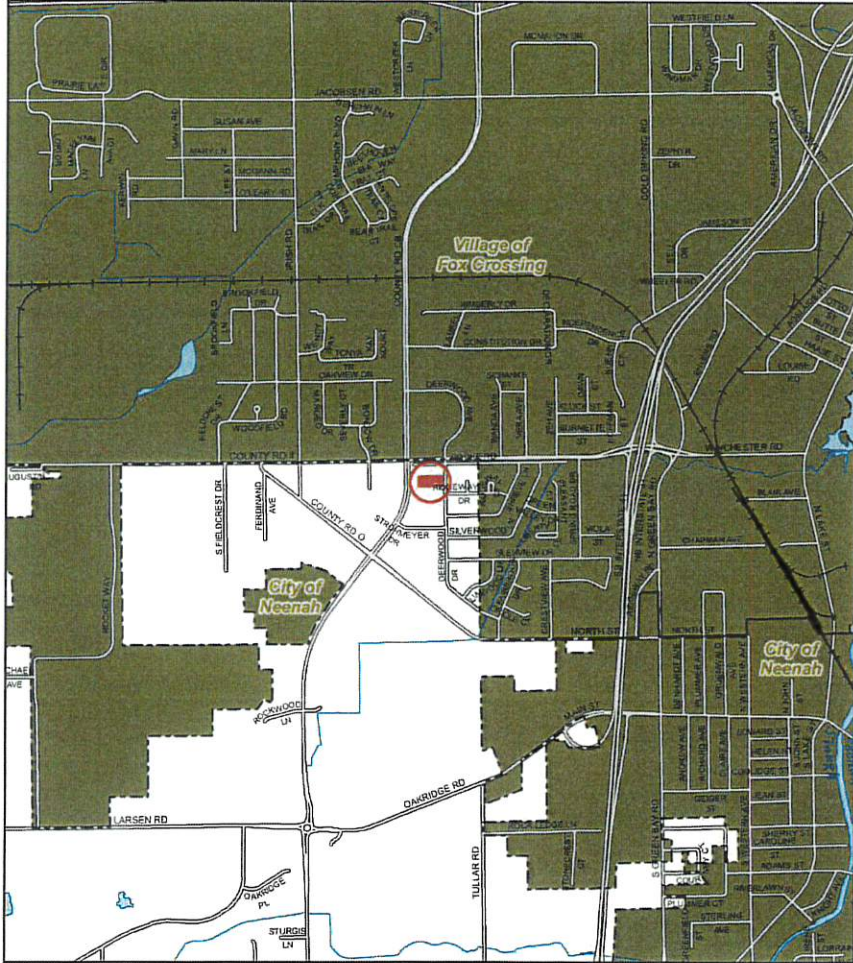
County Zoning Districts

R-1	PDD	B-1
R-2	A-1	B-2
R-3	A-2	B-3
R-4	I-1	M-1
R-8	I-2	Town Zoning

City of Oshkosh Extraterritorial
Zoning Jurisdiction

Incorporated Area

○ = SITE



1 inch : 2,000 feet

Application #23-ZC-6330

Date of Hearing:

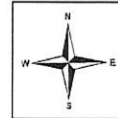
May 30, 2023

Owner(s):

HOT HEAD PROPERTIES LLC

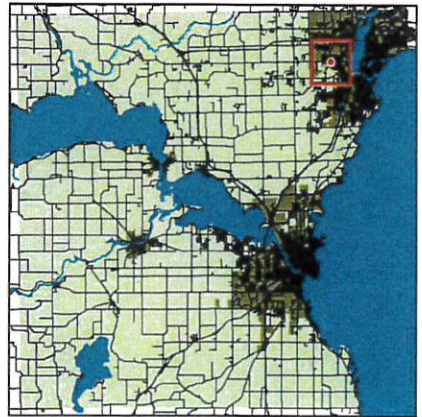
Subject Parcel(s):

010020303



Winnebago County
WINGS Project

● = SITE



WINNEBAGO COUNTY

TOWN OF NEENAH PLAN COMMISSION MEETING

Monday, May 15, 2023

Held at Town of Neenah Municipal Building, 1600 Breezewood Lane and offered via Zoom

Present for Plan Commission: Plan Commission Chair Pete Weyenberg, Commissioner Jody Andres, Commissioner Russ Meerdink, and Commissioner Don Nussbaum.**Present for Plan Commission via Zoom:** Commissioner Brett Armstrong and Commissioner Joshua Lautenschlager.**Also Present:** Steve Fleming, Peggy Fleming, Carrie Sturn (via Zoom) Town Board Supervisor James Weiss and Administrator-Clerk-Treasurer Ellen Skerke.

P. Weyenberg called the Public Hearing to order at 7:00 pm. The Pledge of Allegiance was recited.

Public Hearing for Zoning Map Amendment

<i>Applicant:</i>	<i>Hot Head Properties LLC</i>
<i>Agent:</i>	<i>None</i>
<i>Location of Premises Affected:</i>	<i>1577 Deerwood Drive, Neenah Wisconsin</i>
<i>Tax Parcel No:</i>	<i>010-0203-03</i>
<i>Current Zoning:</i>	<i>B-3 Regional Business</i>
<i>Proposed Zoning:</i>	<i>I-1 Light Industrial Business District</i>
<i>Explanation:</i>	<i>Applicant is requesting a Zoning Map Amendment to rezone a parcel from B-3 (Regional Business) to I-1 (Light Industrial)</i>

The following comments were made in the Public Hearing:

- Steve Fleming, 1577 Deerwood Drive spoke on behalf of the zoning map amendment request. Shared an updated drawing with a concept of the plan for the property. Adding additional buildings for storage to be rented out to trade businesses. The existing landscape bins will be removed. Unfortunately the oak tree on the property will have to be removed.
- Plan Commission members asked several questions resulting in the following information:
 - New buildings will be located on the north side of the lot. The existing building is approximately 100' long, the new buildings will be 250' in total.
 - The aesthetics will remain as is, similar materials for siding and roofing. New buildings should look very similar to the existing building.
 - Buildings will be heated and have plumbing.
 - 2,000 sq feet for each unit.
 - No outside storage of materials
- Carrie Sturn, 1570 Deerwood Drive spoke, she lives across the street from 1577 Deerwood Drive. She is happy with the current owner and has no complaints. Her question was if the property is rezoned, what could it become in the future. Pete Weyenberg explained the land use matrix and gave some examples of what was permissible in I-1 Zoning.
- C. Sturn stated her concerns are the potential of increased traffic in the future should someone else come in after the current owner and change the use.

Having no one else interested in speaking, Chair Pete Weyenberg closed the Public Hearing at 7:15 p.m.

Plan Commission Meeting

Plan Commission Meeting was called to order at 7:15 p.m.

Approve November 21, 2022 Plan Commission Meeting Minutes

- R. Meerdink made a correction tot eh verbiage on page 3.
- J. Andres made a spelling correction on the last page.

Motion: D. Nussbaum / J. Andres to approve with noted corrections.
Motion carried by voice vote.

Public Forum

None

Input/Discussion/Action

Zoning Map Amendment

Resolution 2023-07 – Zoning Map Amendment

Applicant: Hot Head Properties LLC

Agent: None

Location of Premises Affected: 1577 Deerwood Drive, Neenah Wisconsin

Tax Parcel No: 010-0203-03

Current Zoning: B-3 Regional Business

Proposed Zoning: I-1 Light Industrial Business District

Explanation: Applicant is requesting a Zoning Map Amendment to rezone a parcel from B-3 (Regional Business) to I-1 (Light Industrial)

- P. Weyenberg reviewed County Zoning Chapter 23 Land Use Matrix and stated that this situation falls under line item 15.06 Contractor Yard.
- The commission reviewed the County GIS Zoning map to look at zoning of the surrounding properties.
- P. Weyenberg stated this proposed use is consistent with other properties in the area, it is an improvement to the area and there is a growing need for this purpose.
- J. Andres advised that the owner be mindful of the required setbacks and parking requirements as he plans his project.
- B. Armstrong stated it would be an improvement to the area.
- J. Lautenschlager agreed, and that the proposed aesthetics will fit well.

Motion: J. Andres / B. Armstrong to approve this zoning map amendment request.
Motion Carried by voice vote.

- E. Skerke requested additional input for Resolution 2023-07, she will check the boxes; The Town has an adopted land use plan, and the action agrees with town land use plan. Are there any "Other Comments" to add to the Resolution?
P. Weyenberg suggested - This is an improvement to the site in the immediate neighborhood, consistent with other activity in the immediate neighborhood, does not appear to have any traffic concerns.
- J. Andres recommended that E. Skerke share the drawing provided by S. Fleming with the Town Board for their discussion.

Old Business

- None

New Business

- R. Meerdink stated that the Plan Commission has not had many meetings, the Plan Commission can initiate things on their own. The Plan Commission may want to come up with a strategy to grow the Town, perhaps a brain storming meeting to get public input. can initiate things on their own. We need to engage the community for their input.
- R. Meerdink stated the strategy can consider land in the entire community, not just the land that the Town owns. He also suggested that the Town reach out to East Central Wisconsin Regional Plan Commission for ideas.

Next regularly scheduled Plan Commission Meeting, pending agenda items, Monday June 19, 2023 at 7:00 p.m.

Adjourn

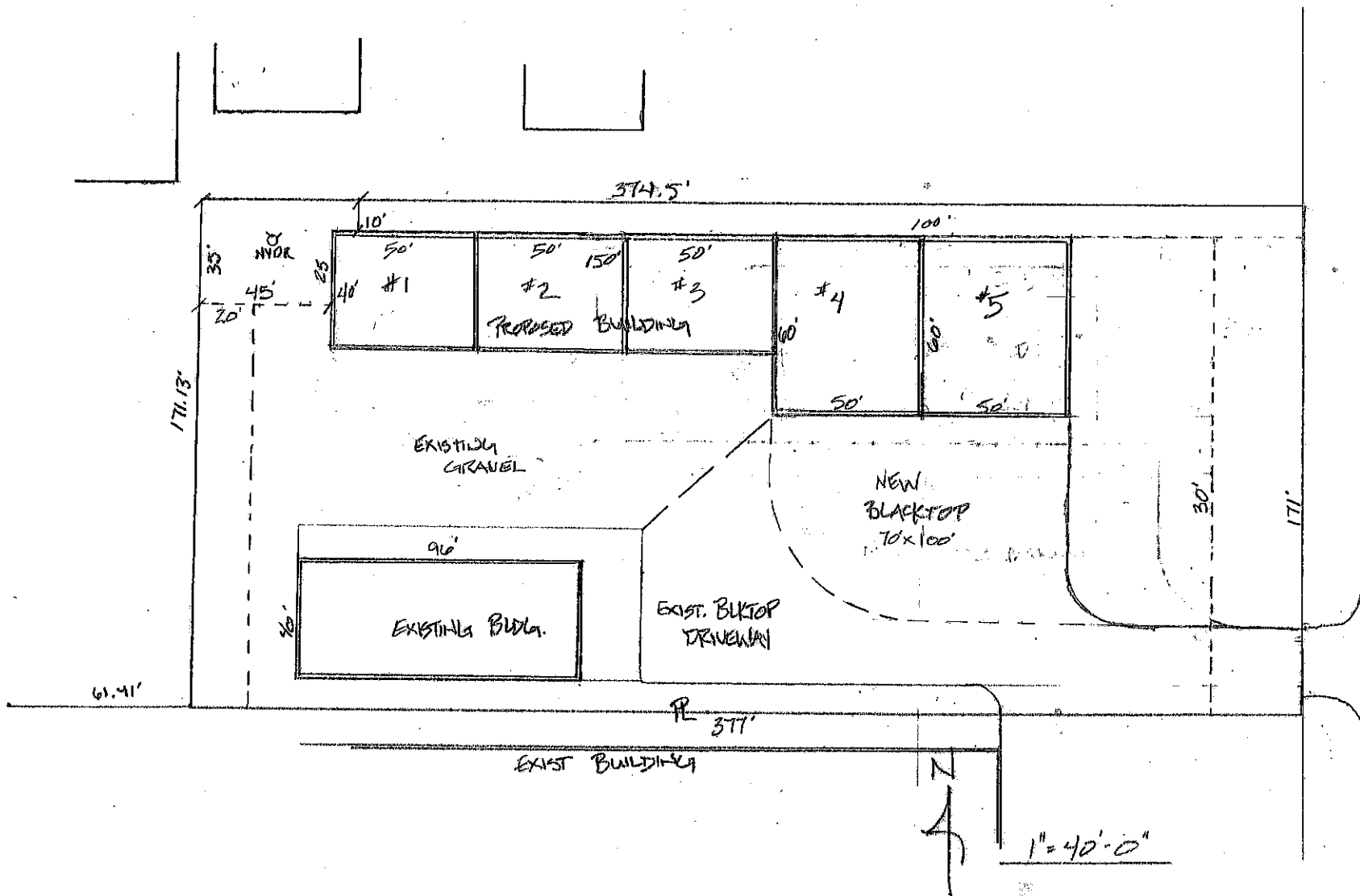
Motion: D. Nussbaum / R. Meerdink to adjourn
Motion carried. Meeting Adjourned at 7:45 pm

Respectfully submitted,



Ellen Skerke
Administrator-Clerk-Treasurer

Approved: DRAFT – Pending Approval



1577 Deerwood Drive
 Proposed improvements
 drawing submitted to Plan Commission
 on 5-15-2023 by property owner

STANDARD ABBREVIATIONS

AC	ACRE	LT	LEFT
AGG	AGGREGATE	LVC	LENGTH OF VERTICAL CURVE
AH	AHEAD	MAINT	MAINTENANCE
ASPH	ASPHALT PAVEMENT	MAT'L	MATERIAL
AVG	AVERAGE	MAX	MAXIMUM
B-B	BACK TO BACK	MIN	MINIMUM
BEG	BEGIN	MH	MANHOLE
BIT	BITUMINOUS	MP	MILE POST
BK	BACK	NB	NORTHBOUND
B/L	BASE LINE	NO	NUMBER
BLDG	BUILDING	NOR	NORMAL
BM	BENCH MARK	OD	OUTSIDE DIAMETER
BOC	BACK OF CURB	OBLIT	OBLITERATE
BRG	BEARING	PAVT	PAVEMENT
C-C	CENTER TO CENTER	PC	POINT OF CURVATURE
CY	CUBIC YARD	PC	PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVATURE
C&G	CURB AND GUTTER	PCC	PRIVATE ENTRANCE
CB	CATCH BASIN	PE	PEDESTAL
CE	COMMERCIAL ENTRANCE	PGL	PROFILE GRADE LINE
CHD	CHORD	PI	POINT OF INTERSECTION
C/L	CENTER LINE	P/L	PROPERTY LINE
CL	CLASS (FOR CONC PIPE)	PLE	PERMANENT LIMITED EASEMENT
CMP	CORRUGATED METAL PIPE	PP	POWER POLE
CO	CLEAN OUT	PRC	POINT OF REVERSE CURVATURE
CONC	CONCRETE	PROP	PROPOSED
CORR	CORRUGATED	PSD	PASSING SIGHT DISTANCE
CP	CONTROL POINT	PSI	POUNDS PER SQUARE INCH
CR	CRUSHED	PT	POINT OF TANGENCY
CS	CURB STOP	PVC	POLYVINYL CHLORIDE OR POINT OF VERTICAL CURVATURE
CSW	CONCRETE SIDEWALK	PVI	POINT OF VERTICAL INTERSECTION
CTH	COUNTY TRUNK HIGHWAY	PVT	POINT OF VERTICAL TANGENCY
CULV	CULVERT	R	RADIUS
D	DEPTH OR DELTA	RCP	REINFORCED CONCRETE PIPE
DI	DUCTILE IRON	RD	ROAD
DIA	DIAMETER	REB	REINFORCEMENT ROD
DIS	DISCHARGE	REM	REMOVE
EA	EACH	RECON	RECONSTRUCT
EB	EASTBOUND	REQ'D	REQUIRED
EBS	EXCAVATION BELOW SUBGRADE	R/L	REFERENCE LINE
EG	EDGE OF PAVEMENT	RP	RADIUS POINT
ELEV	ELEVATION	RR	RAILROAD
ELEC	ELECTRIC	RT	RIGHT
EMB	EMBANKMENT	R/W	RIGHT-OF-WAY
EMAT	EROSION MAT	SB	SOUTHBOUND
ENT	ENTRANCE	SE	SUPERELEVATION
EOR	END OF RADIUS	SF	EXCAVATION
EP	EDGE OF PAVEMENT	SI	SLOPE INTERCEPT
EXC	EXCAVATION	STH	STATE TRUNK HIGHWAY
EX	EXISTING	SY	SQUARE YARD
EW	ENDWALL	SALV	SALVAGED
F-F	FACE TO FACE	SAN	SANITARY
FDN	FOUNDATION	SEC	SECTION
FE	FIELD ENTRANCE	SHLDR	SHOULDER
FERT	FERTILIZER	S/L	SURVEY LINE
FG	FINISHED GRADE	SQ	SQUARE
F/L	FLOW LINE	STA	STATION
FT	FOOT	STD	STANDARD
FTG	FOOTING	STO	STORM
GRAV	GRAVEL	SW	SIDEWALK
GN	GRID NORTH	TC	TOP OF CURB
GV	GAS VALVE	TEL	TELEPHONE
HDPE	HIGH DENSITY POLYETHYLENE	TEMP	TEMPORARY
HE	HIGHWAY EASEMENT	TLE	TEMPORARY LIMITED EASEMENT
HMA	HOT MIX ASPHALT	TV	TELEVISION
HP	HIGH POINT	TYP	TYPICAL
HT	HEIGHT	UG	UNDERGROUND
HYD	HYDRANT	USH	U.S. HIGHWAY
ID	INSIDE DIAMETER	VAR	VARIES
IN	INCH	VC	VERTICAL CURVE
INL	INLET	VERT	VERTICAL
INV	INVERT	WB	WESTBOUND
IP	IRON PIPE	WM	WATER MAIN
JCT	JUNCTION	WV	WATER VALVE
LB	POUND		
LF	LINEAR FOOT		
LP	LIGHT POLE		

STANDARD SYMBOLS

	2" IRON PIPE FOUND		TELEPHONE CABLE - BURIED
	1 1/4" REBAR FOUND		ELECTRIC CABLE - BURIED
	1 1/4" x 30" IRON REBAR WEIGHING 4.30 LB/LF SET		UTILITIES - OVERHEAD
	1" (1.315 OD) IRON PIPE FOUND		FIBER OPTIC CABLE - BURIED
	1" IRON PIPE SET		GAS MAIN
	3/4" IRON REBAR FOUND		CABLE TELEVISION - BURIED
	3/4" IRON PIPE FOUND		DITCH LINE
	3/4"x 24" IRON REBAR WEIGHING 1.5 LB/LF SET		STREET C/L OR R/L
	MAG NAIL FOUND		PROPERTY LINE
	MAG NAIL SET		RIGHT-OF-WAY LINE
	GEAR NAIL SET		SECTION LINE
	RAILROAD SPIKE FOUND		EXISTING CONTOURS
	RAILROAD SPIKE SET		PROPOSED CONTOURS
	CHISEL CROSS FOUND		EXISTING SANITARY SEWER
	CHISEL CROSS SET		PROPOSED SANITARY SEWER
	COUNTY MONUMENT		EXISTING WATER MAIN
	CONCRETE MONUMENT FOUND		PROPOSED WATER MAIN
	CONTROL POINT HORIZONTAL		EXISTING STORM SEWER
	CONTROL POINT VERTICAL		PROPOSED STORM SEWER
	SOIL BORING or MONITORING WELL		EXISTING CURB & GUTTER
	POWER POLE		PROPOSED CURB & GUTTER
	POWER POLE W/GUY WIRE		PROPOSED REJECT CURB & GUTTER
	TELEPHONE OR TELEVISION PEDESTAL		EXISTING CULVERT WITH END SECTIONS
	MAILBOX		PROPOSED CULVERT WITH END SECTIONS
	SIGN		BUILDING OUTLINE
	RAILROAD CROSS BUCK		FENCE LINE
	RAILROAD GATE ARM		SAW CUT REQ'D
	RAILROAD TRACKS		SILT FENCE
	LIGHT POLE		GUARD RAIL
	WOOD POLE		DITCH CHECK
	TRAFFIC SIGNAL		INLET PROTECTION
	TRAFFIC SIGNAL MAST ARM		TRACKING PAD
	CONIFEROUS TREE		TURBIDITY BARRIER OR SHEET PILING
	DECIDUOUS TREE		SANDBAG COFFERDAM
	TREE OR BRUSH LINE		SLOPE INTERCEPT
	BED ROCK (IN PROFILE VIEW)		LIMITS OF DISTURBANCE
	HANDICAPPED PARKING STALL		EROSION MAT
	EXISTING SPOT ELEVATION		RIP-RAP (SIZE AS SPECIFIED)
	PROPOSED SPOT ELEVATION (700.00 DATUM)		TURF REINFORCEMENT MAT (TRM)
	DRAINAGE HIGH POINT		VEGETATED BUFFER
	DRAINAGE DIRECTION		DELINEATED WETLANDS
	EXISTING MANHOLE		EXISTING ASPHALT
	PROPOSED MANHOLE		EXISTING CONCRETE
	EXISTING INLET		PROPOSED ASPHALT
	PROPOSED INLET		PROPOSED CONCRETE
	EXISTING YARD DRAIN		PROPOSED GRAVEL
	PROPOSED YARD DRAIN		PROPOSED DRIVEWAY
	EXISTING CLEAN OUT		GRADE, SEED AND MULCH
	PROPOSED CLEAN OUT		TOPSOIL, SEED, FERTILIZER AND MULCH
	EXISTING DOWNSPOUT		
	PROPOSED DOWNSPOUT		
	EXISTING WATER VALVE		
	PROPOSED WATER VALVE		
	EXISTING CURB STOP		
	PROPOSED CURB STOP		
	EXISTING FIRE HYDRANT		
	PROPOSED FIRE HYDRANT		
	PROPOSED WATER FITTING		
	PROPOSED WATER REDUCER		
	PROPOSED ENDCAP		
	GAS VALVE		
	OVERLAND FLOW PATH		

GENERAL NOTES

1. THE UTILITIES SHOWN IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES, PRIVATE AND PUBLIC, SHALL BE NOTIFIED 72 HRS. PRIOR TO EXCAVATION.
2. THE PROPERTY LINES, RIGHT-OF-WAY LINES AND OTHER PROPERTY INFORMATION ON THIS DRAWING WERE DEVELOPED OR OBTAINED AS PART OF THE COUNTY GEOGRAPHIC INFORMATION SYSTEM OR THROUGH THE COUNTY PROPERTY TAX MAPPING FUNCTION. MCMAHON DOES NOT GUARANTEE THIS INFORMATION TO BE CORRECT, CURRENT OR COMPLETE. THE PROPERTY AND RIGHT-OF-WAY INFORMATION ARE INTENDED FOR USE AS A GENERAL REFERENCE AND ARE NOT INTENDED OR SUITABLE FOR SITE-SPECIFIC USES. ANY USE TO THE CONTRARY OF THE ABOVE STATED USES IS THE RESPONSIBILITY OF THE USER AND SUCH USE IS AT THE USER'S OWN RISK.
3. PAVEMENTS AND RELATED CONSTRUCTION SHALL COMPLY WITH WISDOT STANDARD SPECIFICATIONS.
4. NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT THE APPROVAL OF THE TOWN.
5. A SAWED JOINT IS REQUIRED WHERE NEW HMA PAVEMENT MATCHES EXISTING ASPHALTIC CONCRETE SURFACE.
6. NATURAL GAS UTILITY: CONTRACTOR TO COORDINATE NATURAL GAS INSTALLATION WITH ENGINEER AND WE ENERGIES. WE ENERGIES CONTACT IS CODY BECKMAN 920-380-3422.
7. ELECTRICAL UTILITY: CONTRACTOR TO COORDINATE ELECTRICAL INSTALLATION WITH ENGINEER AND WE ENERGIES. WE ENERGIES CONTACT IS STEVE ARMSTRONG 920-380-3563.
8. TELEPHONE UTILITY: CONTRACTOR TO COORDINATE ELECTRICAL INSTALLATION WITH ENGINEER AND AT&T. AT&T CONTACT IS MIKE HAHN (920-735-3358).
9. CABLE UTILITY: CONTRACTOR TO COORDINATE CABLE INSTALLATION WITH ENGINEER AND TIME WARNER CABLE. TIME WARNER CABLE CONTACT IS VINCE ALBIN (920-378-0444).
10. CONTRACTOR TO OBTAIN TRAFFIC CONTROL PERMIT APPLICATIONS FROM THE TOWN PRIOR TO CONSTRUCTION.
11. A STREET EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN THE R.O.W.



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920-751-4200
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Owner:
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Attn: Ellen Skerke
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Neeah, WI 54956
920-886-7543
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NO.	DATE	REVISION

MAHLER PARK & TOWN HALL - REPAVING PROJECTS
TOWN OF NEEAH, WINNEBAGO COUNTY, WI
ABBREVIATIONS-NOTES-DETAILS

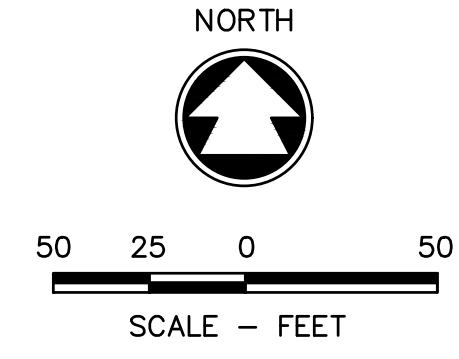
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PROJECT NO. N0003-09-23-00245	
DATE MAY 2023	
SHEET NO. 01	

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HORIZONTAL CONTROL POINTS			
POINT #	NORTHING	EASTING	DESCRIPTION
2	522370.59	814480.07	MAG NAIL
3	522118.08	814700.72	MAG NAIL
4	521965.14	814773.68	HUB TACK
5	522636.51	814582.46	MAG NAIL
6	521988.65	814229.10	MAG NAIL

VERTICAL BENCHMARK CONTROL		
POINT #	ELEVATION	DESCRIPTION
7	756.41	MAG IN POWER POLE 69-3180
8	755.51	TOP WELL FLAT BAR
9	753.06	MAG IN POWER POLE 69-3184
10	754.63	MAG IN POWER POLE 10958
11	757.15	TOP WELL FLAT SPOT



NOTE:
 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ALSO VERIFY HORIZONTAL CONTROL BY FIELD CHECKING SEVERAL CONTROL POINTS AND SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY DISCREPANCIES.

VERTICAL DATUM
 ELEVATIONS ARE REFERENCED TO NGS DATA:
 CONTROL POINT NAME: NEENAH S GPS
 POINT ID: DF6127 NAVD 88 DATUM
 BY GPS OBSERVATION TO ELEVATION = 757.27 (2007 ADJUSTMENT)
 LEVEL LOOP PER FIELD BOOK 1542 PAGE 24

HORIZONTAL DATUM:
 COORDINATES ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM AS PUBLISHED FOR WINNEBAGO COUNTY NAD 83 (1997)

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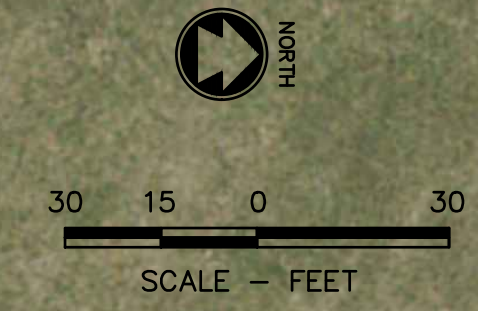
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MAHLER PARK & TOWN HALL – REPAVING PROJECTS
TOWN OF NEENAH, WINNEBAGO COUNTY, WI
SURVEY CONTROL

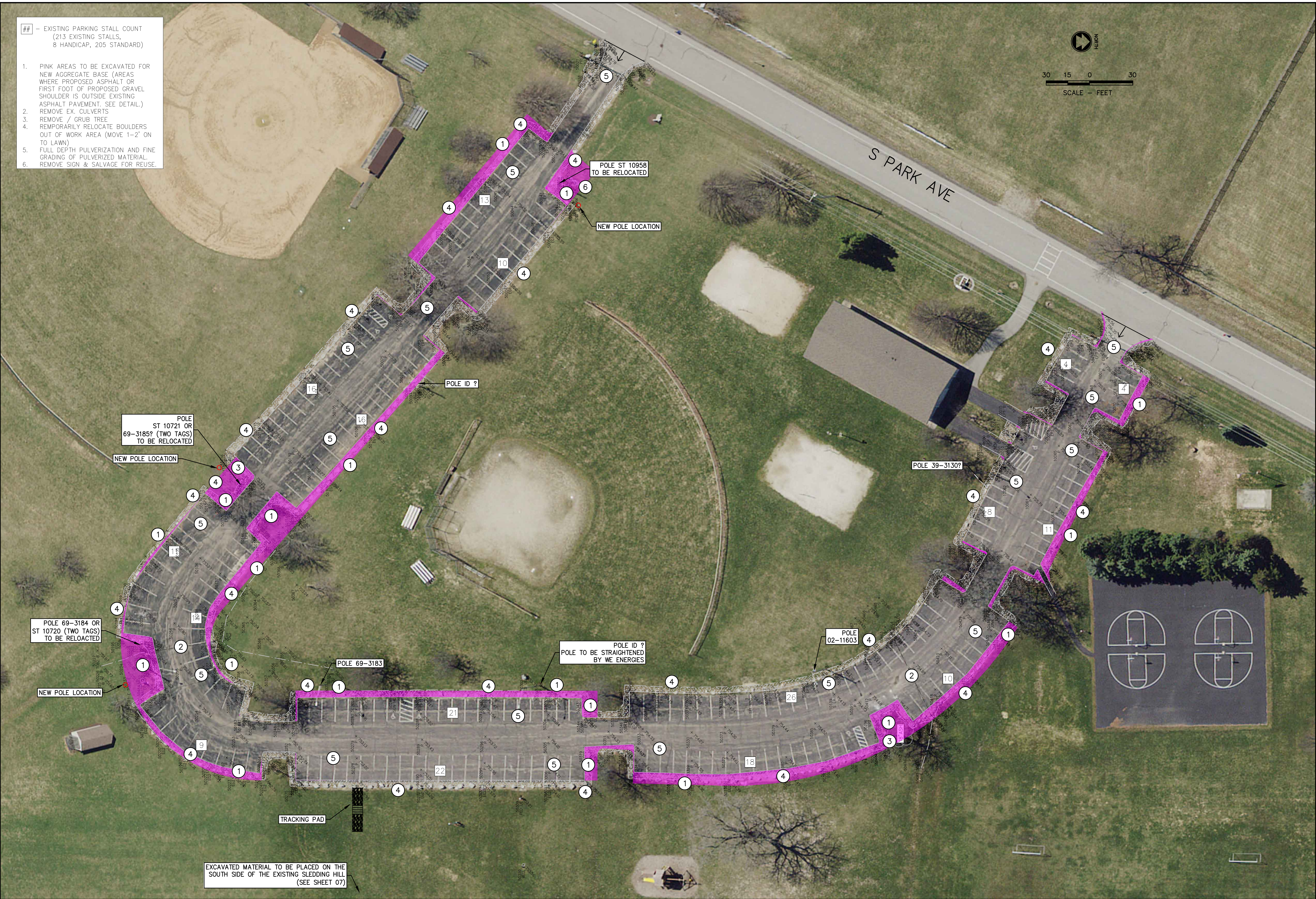
DESIGNED ###	DRAWN ###
PROJECT NO. N0003-09-23-00245	
DATE MAY 2023	
SHEET NO. 02	

- EXISTING PARKING STALL COUNT
(213 EXISTING STALLS,
8 HANDICAP, 205 STANDARD)

1. PINK AREAS TO BE EXCAVATED FOR NEW AGGREGATE BASE (AREAS WHERE PROPOSED ASPHALT OR FIRST FOOT OF PROPOSED GRAVEL SHOULDER IS OUTSIDE EXISTING ASPHALT PAVEMENT. SEE DETAIL.)
2. REMOVE EX. CULVERTS
3. REMOVE / GRUB TREE
4. TEMPORARILY RELOCATE BOULDERS OUT OF WORK AREA (MOVE 1-2' ON TO LAWN)
5. FULL DEPTH PULVERIZATION AND FINE GRADING OF PULVERIZED MATERIAL.
6. REMOVE SIGN & SALVAGE FOR REUSE.



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NO.	DATE	REVISION

MAHLER PARK & TOWN HALL - REPAVING PROJECTS
TOWN OF NEENAH, WINNEBAGO COUNTY, WI
MAHLER PARK - EXISTING CONDITIONS & DEMOLITION PLAN

DESIGNED #	DRAWN #
PROJECT NO. N0003-09-23-00245	
DATE MAY 2023	
SHEET NO. 03	

cadler_w\PROJECTS\N0003\092300245\CADD\Civil\plan sheets\04_Mahler Park - Proposed Site & Dimensions.dwg_04_Mahler Park - Proposed Site & Dimensions.Plot_Date: 5/17/2023 11:48 AM_xref:smone

SITE PLAN KEY NOTES

1. REPLACE BOULDERS ON NEW GRAVEL SHOULDER
2. 75' - 8" C900 PVC STORM CULVERT @ 0.8% (X2). 45' MITRE CUT PIPE ENDS
3. 75' - 8" C900 PVC STORM CULVERT @ 0.2% (X2). 45' MITRE CUT PIPE ENDS
4. EXTEND AND SHAPE ASPHALT TO MATCH EX. ASPHALT TRAIL
5. SHAPE PULVERIZED BASE & REPAVE PARKING LOT FOR 3 1/4" HMA.
6. 3' WIDE GRAVEL SHOULDER (ALONG ENTIRE LENGTH OF PARKING LOT)
7. 4" WHITE PAINT STRIPE.
8. WHITE ACCESSIBLE PARKING SYMBOL.
9. WHITE PAINT DIRECTIONAL ARROW.
10. 12" WHITE STOP BAR. ALIGN WITH EXISTING STOP SIGN.
11. PLACE EXCAVATED MATERIAL ON SOUTH SIDE OF EXISTING SLEDDING HILL.
12. REMOVE ANY EX GRAVEL LANDSCAPING BEYOND THE 3' GRAVEL SHOULDER. RESTORE WITH TOPSOIL, SEED, EROSION MAT, & FERTILIZER.
13. REPLACE EXISTING PARK SIGN. VERIFY LOCATION WITH OWNER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HOURS PRIOR TO EXCAVATION.

COORDINATE WITH WE ENERGIES AND TOWN WITH POLE MAINTENANCE / REPLACEMENT

SAWCUTS ARE INCIDENTAL TO THE PROJECT.

REMOVE & REUSE EXISTING HANDICAP PARKING SIGNS.

ALL RECTANGULAR PARKING STALL SIZES SHALL BE 9'-0" X 18'-0" UNLESS OTHERWISE NOTED.

GENERAL CONTRACTOR TO RESTORE ANY LAWN AREAS THAT ARE DISTURBED BY CONSTRUCTION (PARKING LOT PERIMETER, MATERIAL HAUL ROUTE, SLEDDING HILL). AREAS TO BE RESTORED WITH TOPSOIL, SEED, FERTILIZER, AND EROSION MAT.

GRADE PULVERIZED MATERIAL AND PAVE ASPHALT WITH A CENTER CROWN, MIN 1.25% SLOPE TO OUTER EDGES OF PAVEMENT

213 EXISTING STALLS (8 HANDICAP, 205 STANDARD)

- PROPOSED PARKING STALL COUNT (233 TOTAL STALLS, 8 HANDICAP, 225 STANDARD)



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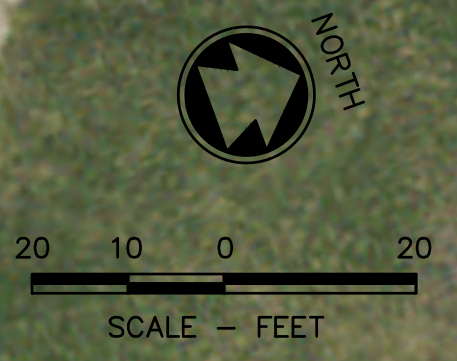
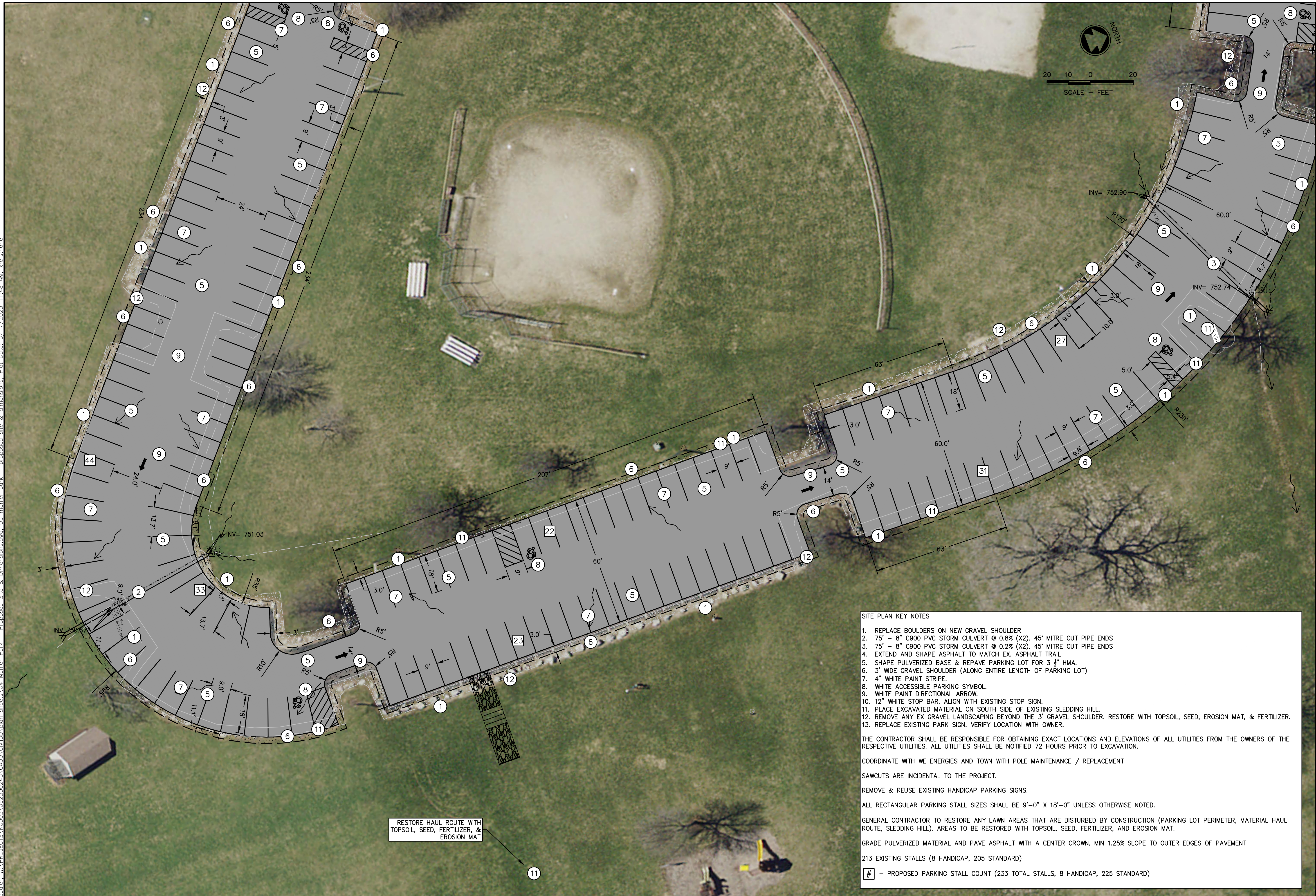
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NO.	DATE	REVISION

MAHLER PARK & TOWN HALL - REPAVING PROJECTS
TOWN OF NEENAH, WINNEBAGO COUNTY, WI
MAHLER PARK - PROPOSED SITE & DIMENSIONS

DESIGNED #	DRAWN #
PROJECT NO. N0003-09-23-00245	
DATE MAY 2023	
SHEET NO. 04	

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SITE PLAN KEY NOTES

1. REPLACE BOULDERS ON NEW GRAVEL SHOULDER
2. 75" - 8" C900 PVC STORM CULVERT @ 0.8% (X2). 45° MITRE CUT PIPE ENDS
3. 75" - 8" C900 PVC STORM CULVERT @ 0.2% (X2). 45° MITRE CUT PIPE ENDS
4. EXTEND AND SHAPE ASPHALT TO MATCH EX. ASPHALT TRAIL
5. SHAPE PULVERIZED BASE & REPAVE PARKING LOT FOR 3 1/2" HMA.
6. 3' WIDE GRAVEL SHOULDER (ALONG ENTIRE LENGTH OF PARKING LOT)
7. 4" WHITE PAINT STRIPE.
8. WHITE ACCESSIBLE PARKING SYMBOL.
9. WHITE PAINT DIRECTIONAL ARROW.
10. 12" WHITE STOP BAR. ALIGN WITH EXISTING STOP SIGN.
11. PLACE EXCAVATED MATERIAL ON SOUTH SIDE OF EXISTING SLEDDING HILL.
12. REMOVE ANY EX GRAVEL LANDSCAPING BEYOND THE 3' GRAVEL SHOULDER. RESTORE WITH TOPSOIL, SEED, EROSION MAT, & FERTILIZER.
13. REPLACE EXISTING PARK SIGN. VERIFY LOCATION WITH OWNER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HOURS PRIOR TO EXCAVATION.

COORDINATE WITH WE ENERGIES AND TOWN WITH POLE MAINTENANCE / REPLACEMENT

SAWCUTS ARE INCIDENTAL TO THE PROJECT.

REMOVE & REUSE EXISTING HANDICAP PARKING SIGNS.

ALL RECTANGULAR PARKING STALL SIZES SHALL BE 9'-0" X 18'-0" UNLESS OTHERWISE NOTED.

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GRADE PULVERIZED MATERIAL AND PAVE ASPHALT WITH A CENTER CROWN, MIN 1.25% SLOPE TO OUTER EDGES OF PAVEMENT

213 EXISTING STALLS (8 HANDICAP, 205 STANDARD)

- PROPOSED PARKING STALL COUNT (233 TOTAL STALLS, 8 HANDICAP, 225 STANDARD)

RESTORE HAUL ROUTE WITH TOPSOIL, SEED, FERTILIZER, & EROSION MAT

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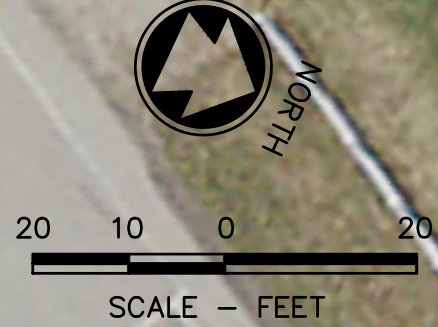
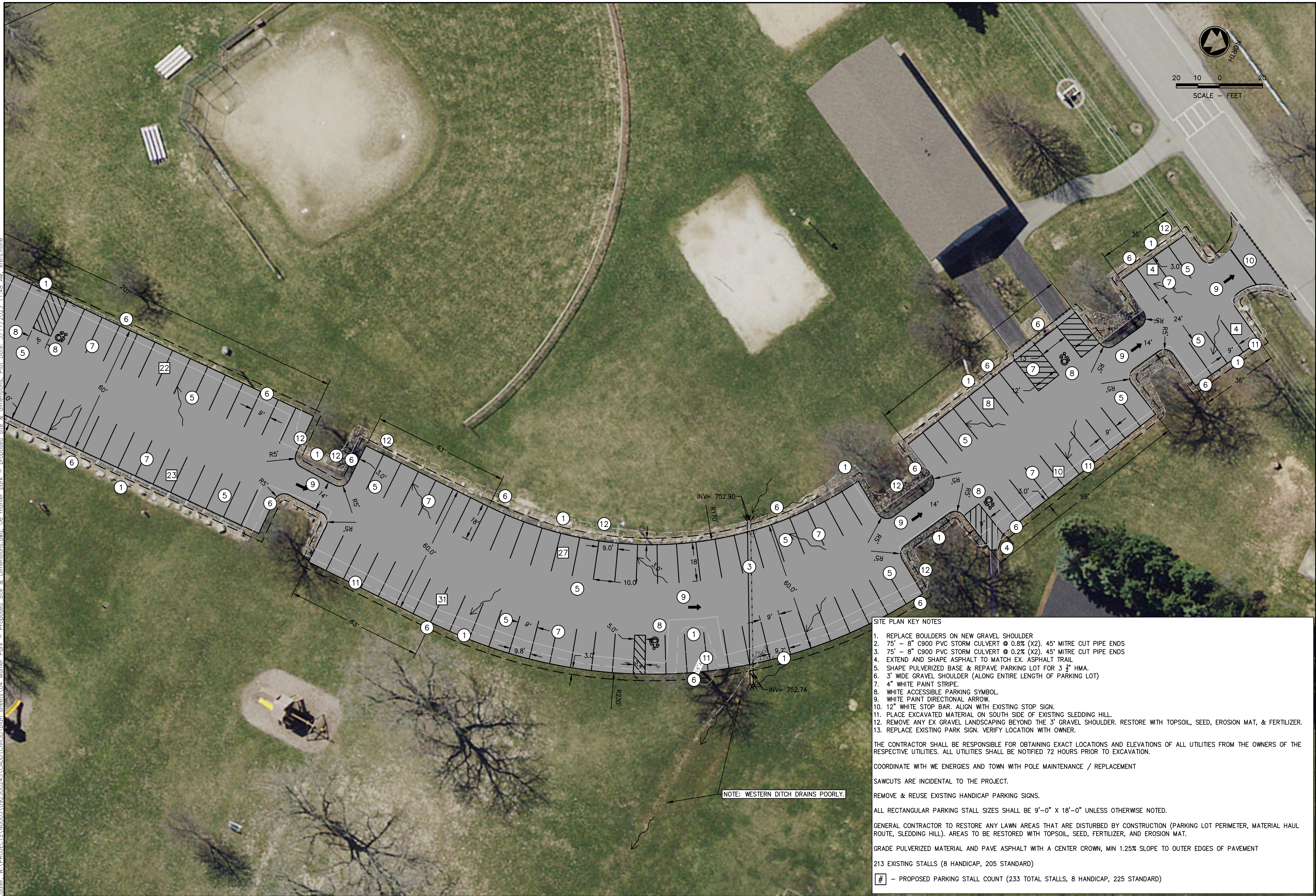
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NO.	DATE	REVISION

MAHLER PARK & TOWN HALL - REPAVING PROJECTS
TOWN OF NEENAH, WINNEBAGO COUNTY, WI
MAHLER PARK - PROPOSED SITE & DIMENSIONS

DESIGNED	DRAWN
#	#
PROJECT NO. N0003-09-23-00245	
DATE MAY 2023	
SHEET NO. 05	

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1. REPLACE BOULDERS ON NEW GRAVEL SHOULDER
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4. EXTEND AND SHAPE ASPHALT TO MATCH EX. ASPHALT TRAIL
5. SHAPE PULVERIZED BASE & REPAVE PARKING LOT FOR 3 1/2" HMA.
6. 3' WIDE GRAVEL SHOULDER (ALONG ENTIRE LENGTH OF PARKING LOT)
7. 4" WHITE PAINT STRIPE.
8. WHITE ACCESSIBLE PARKING SYMBOL.
9. WHITE PAINT DIRECTIONAL ARROW.
10. 12" WHITE STOP BAR. ALIGN WITH EXISTING STOP SIGN.
11. PLACE EXCAVATED MATERIAL ON SOUTH SIDE OF EXISTING SLEDDING HILL.
12. REMOVE ANY EX GRAVEL LANDSCAPING BEYOND THE 3' GRAVEL SHOULDER. RESTORE WITH TOPSOIL, SEED, EROSION MAT, & FERTILIZER.
13. REPLACE EXISTING PARK SIGN. VERIFY LOCATION WITH OWNER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HOURS PRIOR TO EXCAVATION.

COORDINATE WITH WE ENERGIES AND TOWN WITH POLE MAINTENANCE / REPLACEMENT

SAWCUTS ARE INCIDENTAL TO THE PROJECT.

REMOVE & REUSE EXISTING HANDICAP PARKING SIGNS.

ALL RECTANGULAR PARKING STALL SIZES SHALL BE 9'-0" X 18'-0" UNLESS OTHERWISE NOTED.

GENERAL CONTRACTOR TO RESTORE ANY LAWN AREAS THAT ARE DISTURBED BY CONSTRUCTION (PARKING LOT PERIMETER, MATERIAL HAUL ROUTE, SLEDDING HILL). AREAS TO BE RESTORED WITH TOPSOIL, SEED, FERTILIZER, AND EROSION MAT.

GRADE PULVERIZED MATERIAL AND PAVE ASPHALT WITH A CENTER CROWN, MIN 1.25% SLOPE TO OUTER EDGES OF PAVEMENT

213 EXISTING STALLS (8 HANDICAP, 205 STANDARD)

- PROPOSED PARKING STALL COUNT (233 TOTAL STALLS, 8 HANDICAP, 225 STANDARD)

NOTE: WESTERN DITCH DRAINS POORLY.

**MAHLER PARK & TOWN HALL - REPAVING PROJECTS
TOWN OF NEEHAH, WINNEBAGO COUNTY, WI
MAHLER PARK - PROPOSED SITE & DIMENSIONS**

DESIGNED	DRAWN
#	#
PROJECT NO. N0003-09-23-00245	
DATE MAY 2023	
SHEET NO. 06	

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NO.	DATE	REVISION

MAHLER PARK & TOWN HALL – REPAVING PROJECTS
TOWN OF NEENAH, WINNEBAGO COUNTY, WI
MAHLER PARK – PATH TO SLEDDING HILL

DESIGNED #	DRAWN #
PROJECT NO. N0003-09-23-00245	
DATE MAY 2023	
SHEET NO. 07	

cad:\w\PROJECTS\N00003\092300245\CADD\Civil\plan sheets\06 Town Hall - Existing Conditions & Demolition Plans.dwg, 06 Town Hall - Existing Conditions & Demolition plan, Plot Date: 5/17/2023 11:49 AM, xref:rsname

- EXISTING PARKING STALL COUNT (47 EXISTING STALLS, 45 STANDARD, 2 HANDICAP)

- GENERAL NOTES:
1. SAWCUT. VERIFY LOCATIONS WITH OWNER / ENGINEER.
 2. FULL DEPTH PULVERIZATION AND FINE GRADING OF PULVERIZED MATERIAL.
 3. EXISTING DOWNSPOUT MAIN TO BE ABANDONED IN PLACE. REMOVE CLEANOUT.
 4. REMOVE CURB & GUTTER AT JOINT.
 5. REMOVE CONCRETE PAVEMENT.
 6. SANDBLAST EXISTING STRIPING ON CONCRETE.



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MAHLER PARK & TOWN HALL - REPAVING PROJECTS
TOWN OF NEENAH, WINNEBAGO COUNTY, WI
TOWN HALL - EXISTING CONDITIONS & DEMOLITION PLAN

DESIGNED #	DRAWN #
PROJECT NO. N0003-09-23-00245	
DATE MAY 2023	
SHEET NO. 08	

SITE PLAN KEY NOTES

- SHAPE PULVERIZED BASE AND REPAVE HMA PARKING LOT FOR 3 1/2" HMA.
- NEW STANDARD 30" CURB & GUTTER @ 0.5%.
- NEW STORM CLEANOUT / ROOF DRAIN CONNECTION.
- NEW 8" UNREINFORCED CONCRETE PAVEMENT, 9 BAG 'HIGH EARLY'.
- 4" WHITE PAINT STRIPE.
- WHITE ACCESSIBLE PARKING SYMBOL.
- WHITE PAINT LETTERING 'NO PARKING FIRELANE'.
- GRADE TO DRAIN. RESTORE DISTURBED SOIL WITH TOPSOIL, SEED, FERTILIZER, & EROSION MAT.
- 203' - 8" C900 STO @ 0.8% DEFLECT PIPE AT SOUTH DOWNSPOUT TO MAINTAIN ALIGNMENT (END OF PROPOSED PIPE TO MATCH LOCATION OF END OF EXISTING PIPE)
- 55' - 8" C900 STO @ 0.5%
- 30" CONCRETE YARD DRAIN. CENTER ON MIDDLE DOWNSPOUT.
- 8" PLASTIC YARD DRAIN. PLACE 4" RIPRAP FROM END OF CURB TO STRUCTURE.
- LOW LAWN AREA. TO BE FILLED WITH TOPSOIL FROM EDGE OF PAVEMENT TO 10' SOUTH OF EDGE OF PAVEMENT. RESTORE WITH SEED, FERTILIZER, AND EROSION MAT.
- 25' RIPRAP (4" RIPRAP) SWALE AT 1% FROM EDGE OF EXISTING POND TO END OF PROPOSED STO PIPES.
- DIRECT DOWNSPOUTS TO DRAIN INTO YARD DRAIN.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HOURS PRIOR TO EXCAVATION.

ALL PARKING STALL SIZES IN THE SOUTH LOT SHALL BE 9'-0" X 18'-0" UNLESS OTHERWISE NOTED. ALL PARKING STALLS IN THE NORTH LOT SHALL BE 10'-0" X 18'-0" UNLESS OTHERWISE NOTED.

SAWCUTS ARE INCIDENTAL TO THE PROJECT.

GENERAL CONTRACTOR TO RESTORE ANY LAWN AREAS THAT ARE DISTURBED BY CONSTRUCTION. AREAS TO BE RESTORED WITH TOPSOIL, SEED, FERTILIZER, AND EROSION MAT.

- PARKING STALL COUNT

PROPOSED STALLS: 44 STANDARD, 2 HANDICAP, 46 TOTAL STALLS

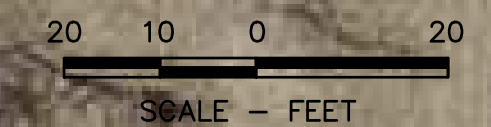


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8" CLEANOUT (3)
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 D= 4.35

YARD DRAIN (11)
 RIM= 764.25
 INV= 761.25
 D= 3.00

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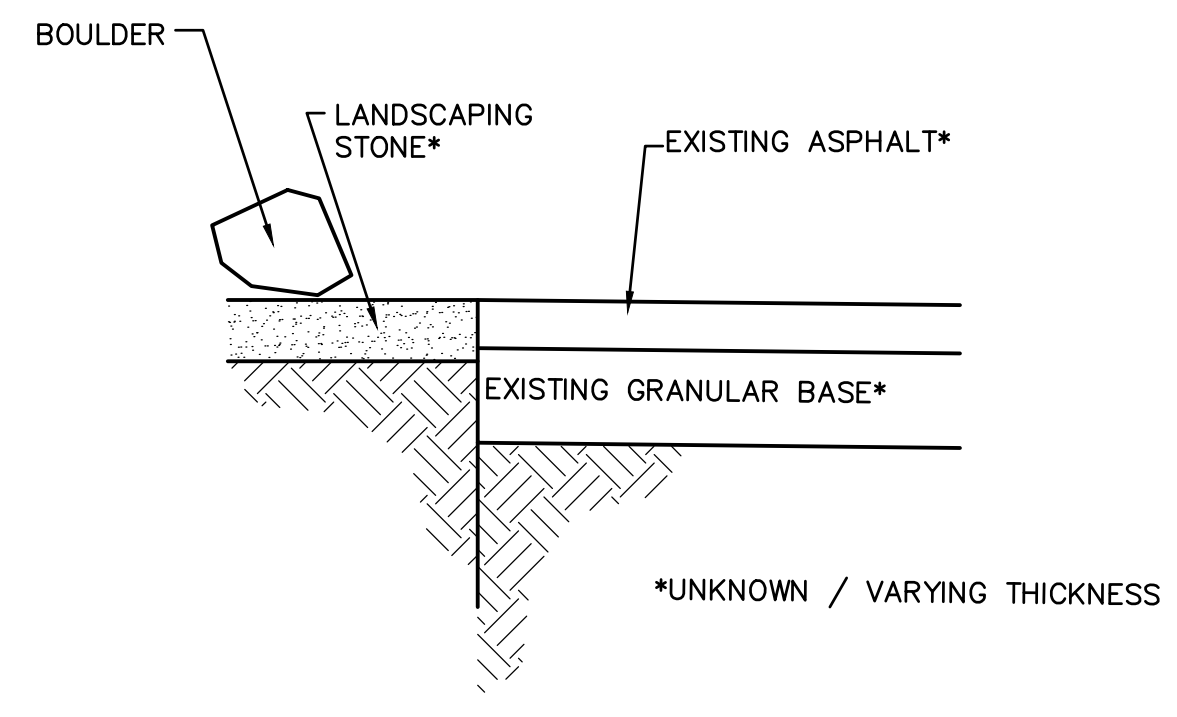
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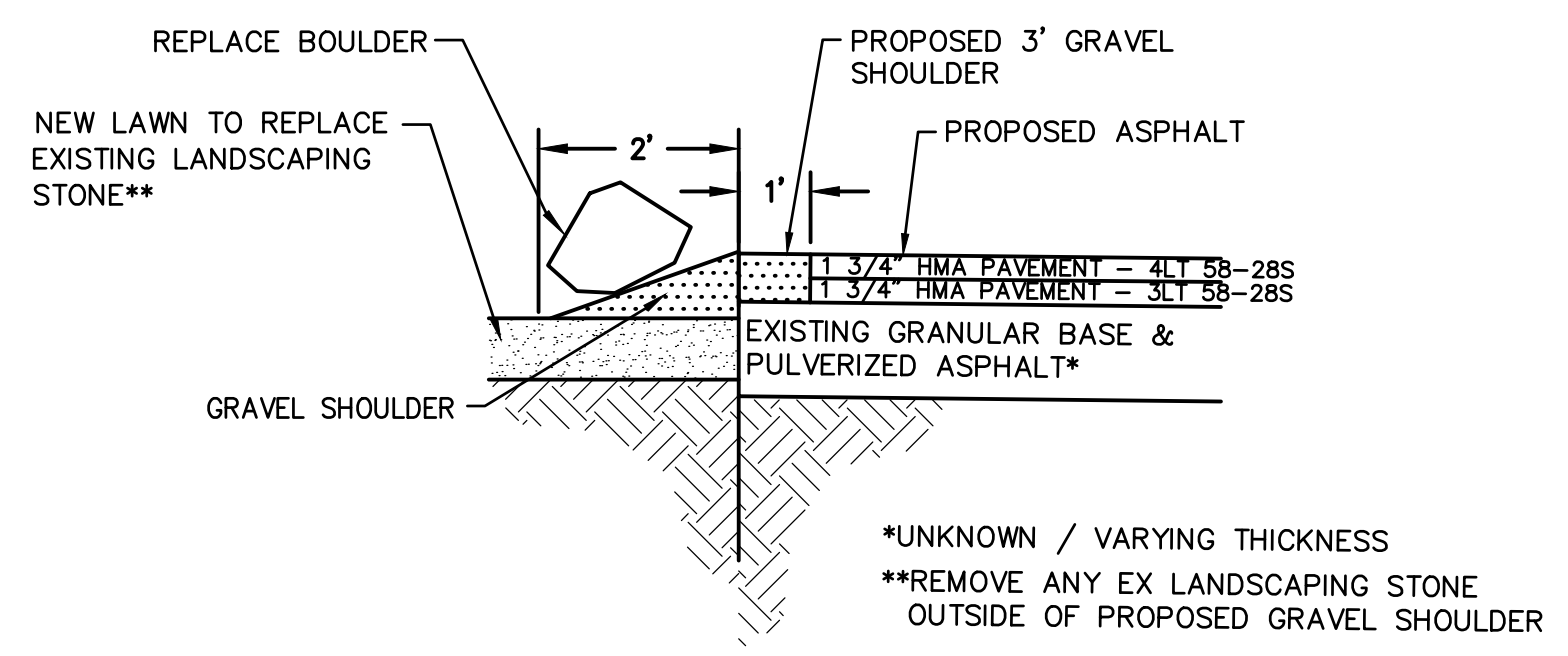
MAHLER PARK & TOWN HALL - REPAVING PROJECTS
TOWN OF NEENAH, WINNEBAGO COUNTY, WI
TOWN HALL - PROPOSED SITE & DIMENSIONS

DESIGNED #	DRAWN #
PROJECT NO. N0003-09-23-00245	
DATE MAY 2023	
SHEET NO. 09	

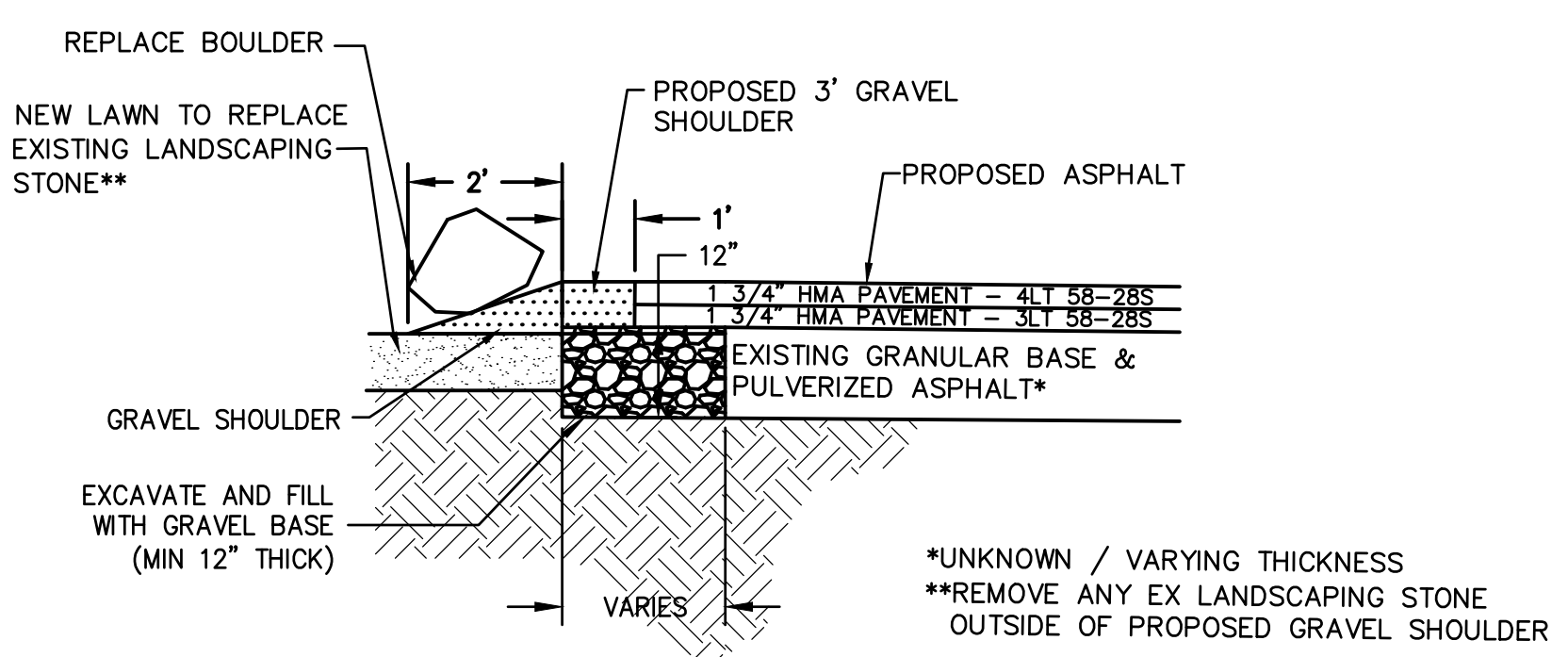
MAHLER PARK DETAILS



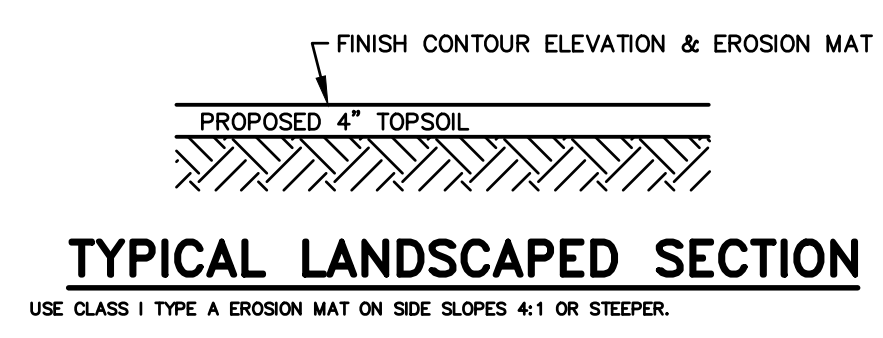
EXISTING ASPHALT DETAIL



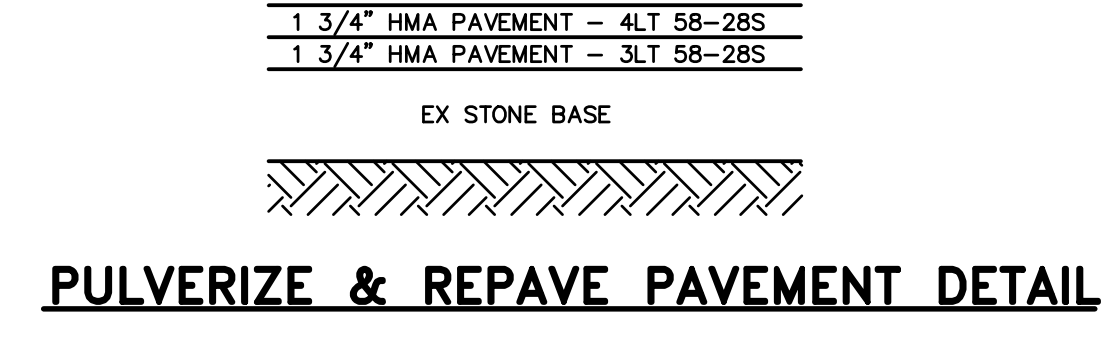
PROPOSED ASPHALT DETAIL - PROPOSED GRAVEL SHOULDER EDGE WITHIN EXISTING ASPHALT FOOTPRINT
(NOT TO SCALE)



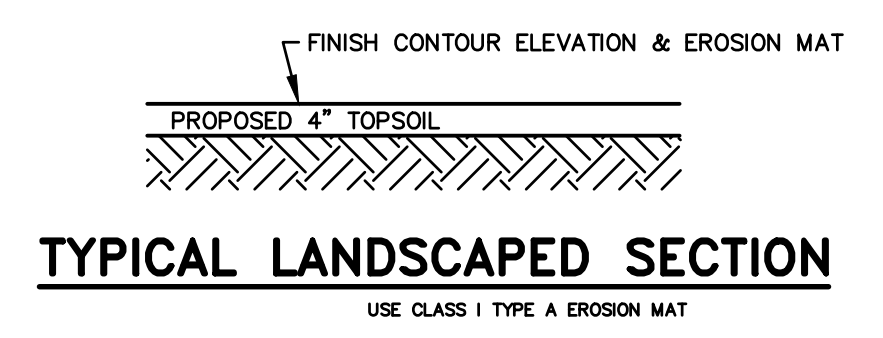
PROPOSED ASPHALT DETAIL - PROPOSED GRAVEL SHOULDER EDGE OUTSIDE EXISTING ASPHALT FOOTPRINT
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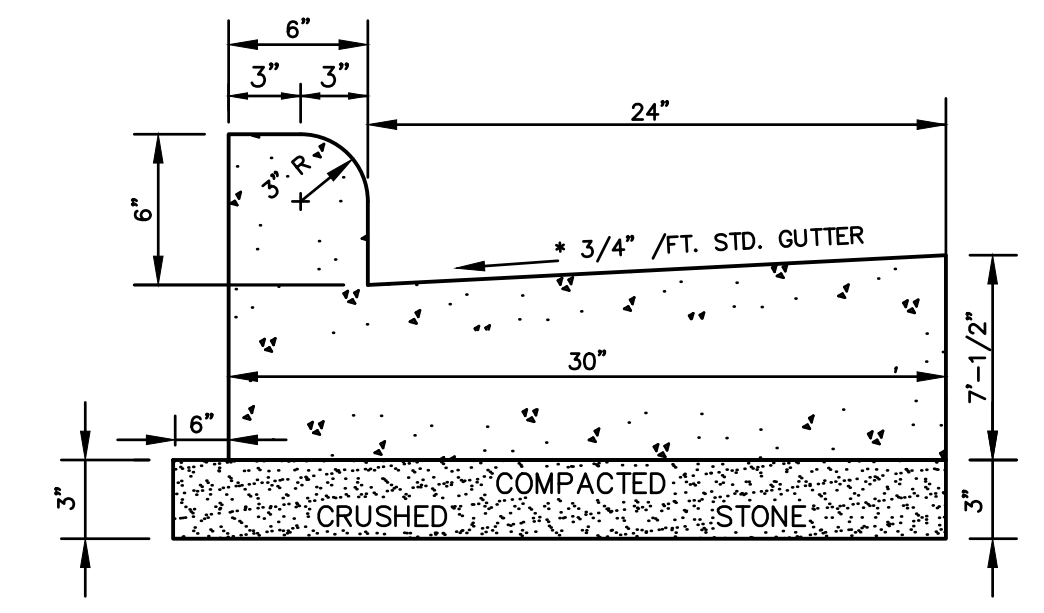
TYPICAL LANDSCAPED SECTION



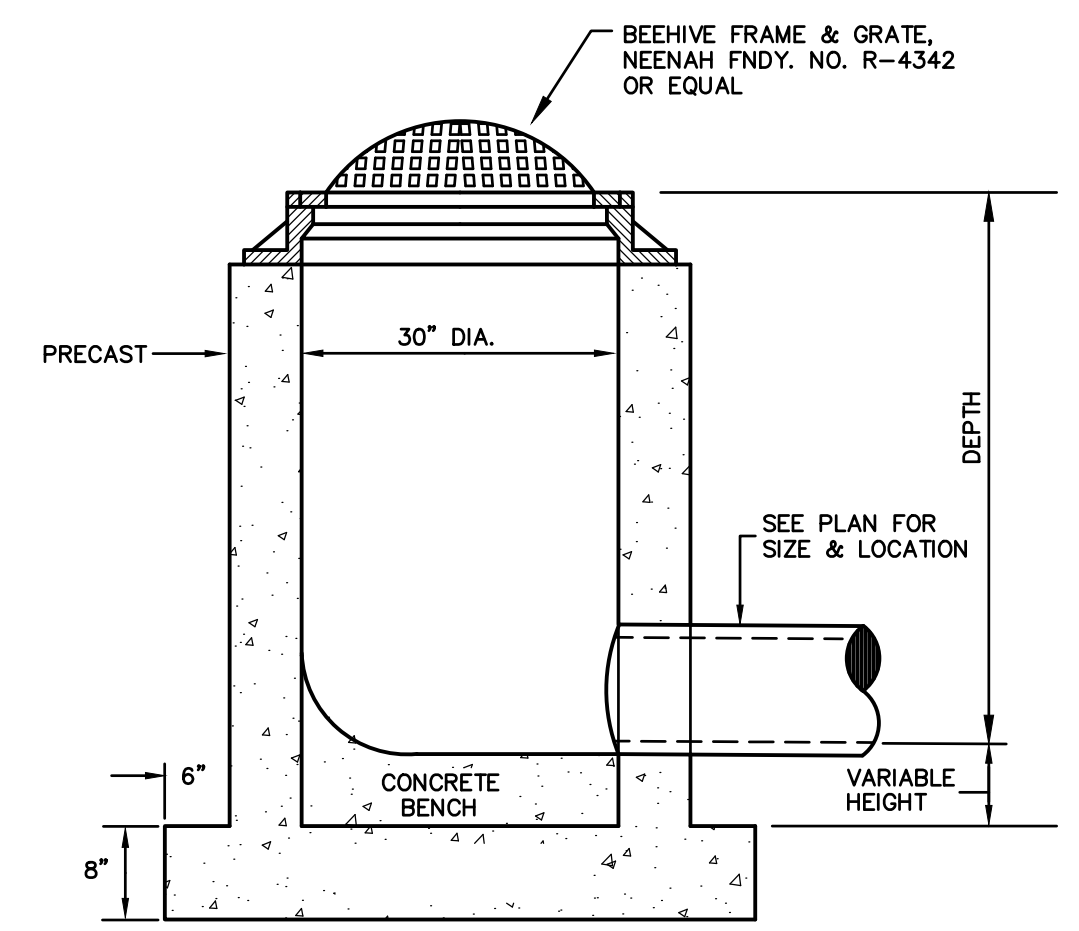
PULVERIZE & REPAVE PAVEMENT DETAIL



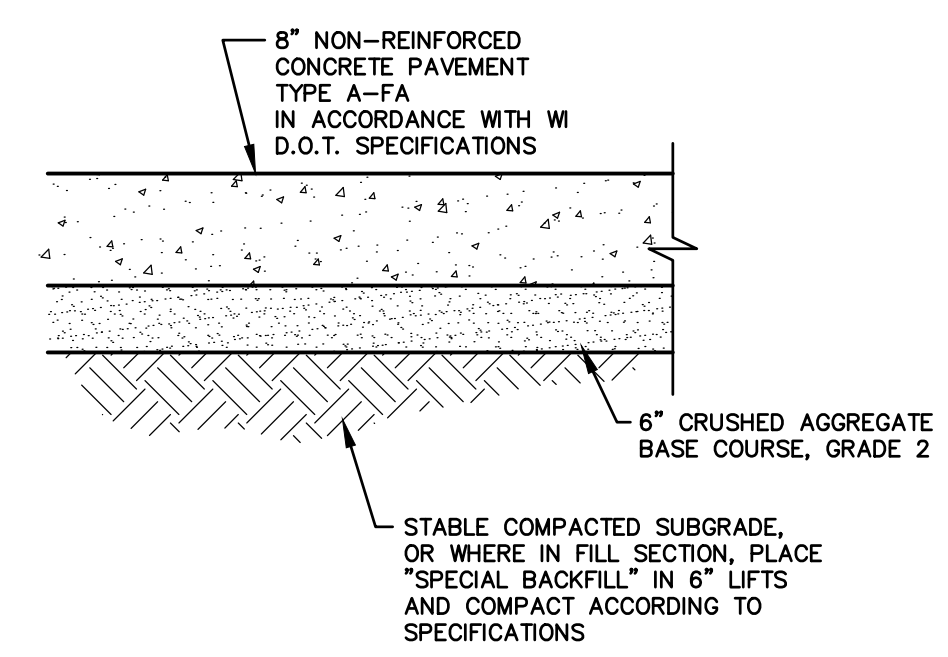
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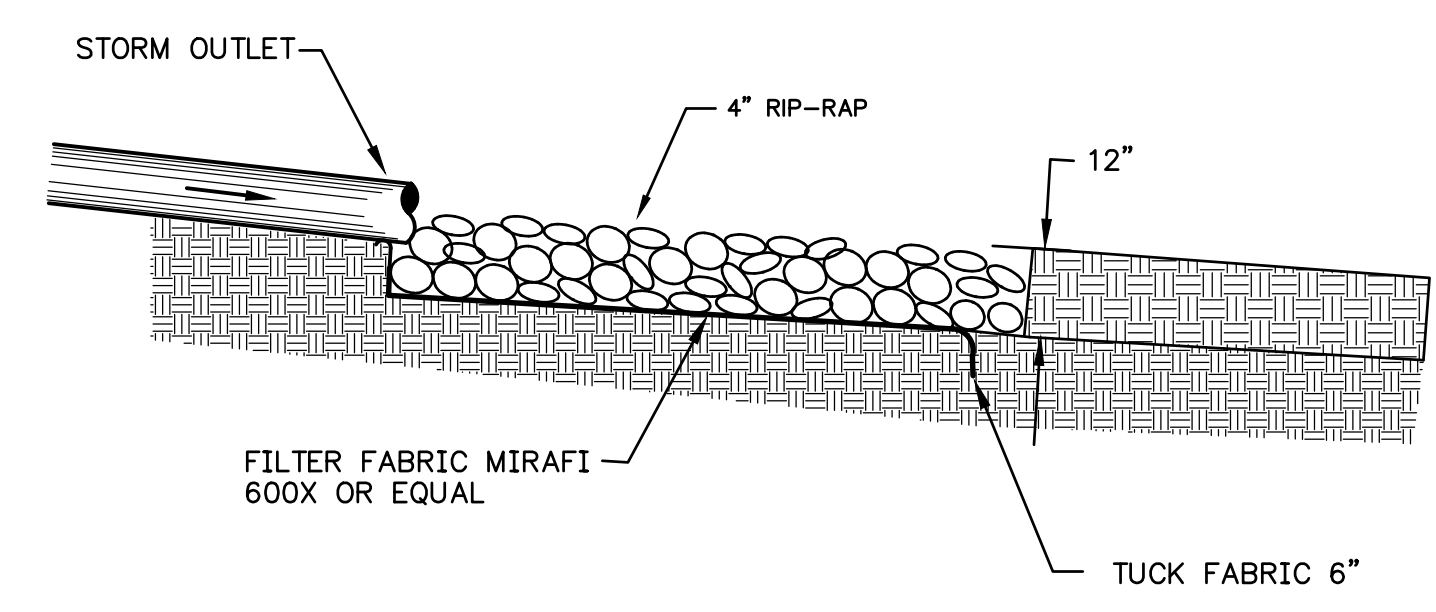
PARKING LOT CURB AND GUTTER DETAIL



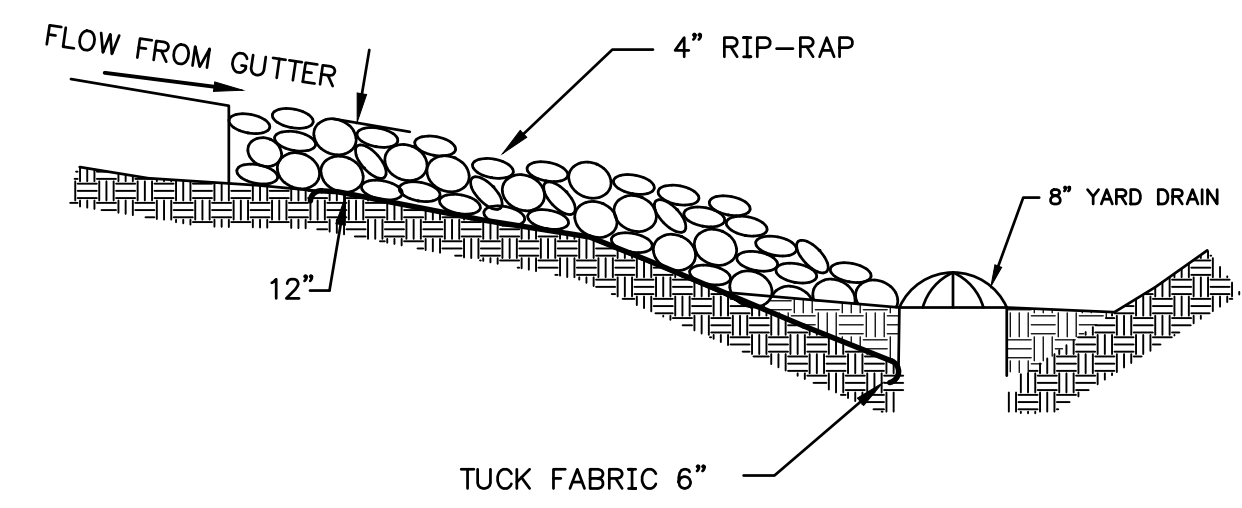
YARD DRAIN DETAIL



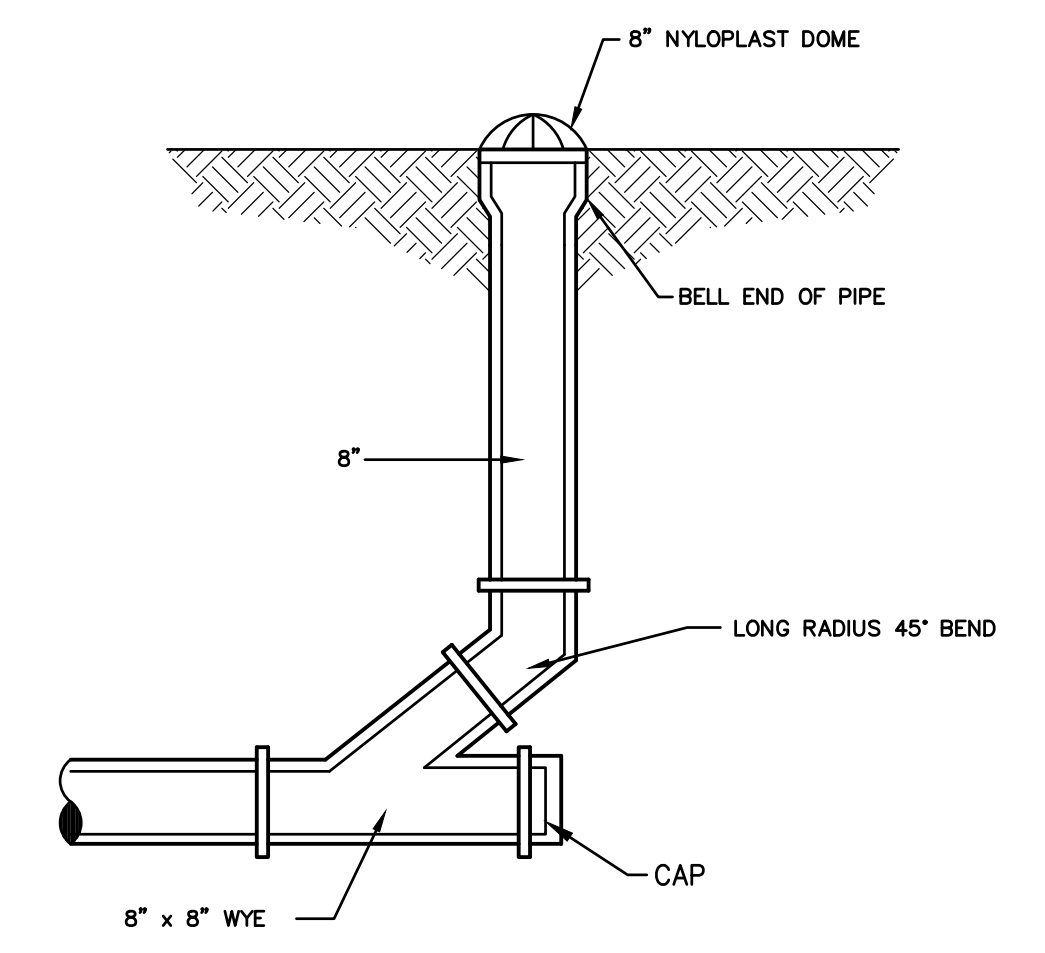
CONCRETE PAVEMENT DETAIL



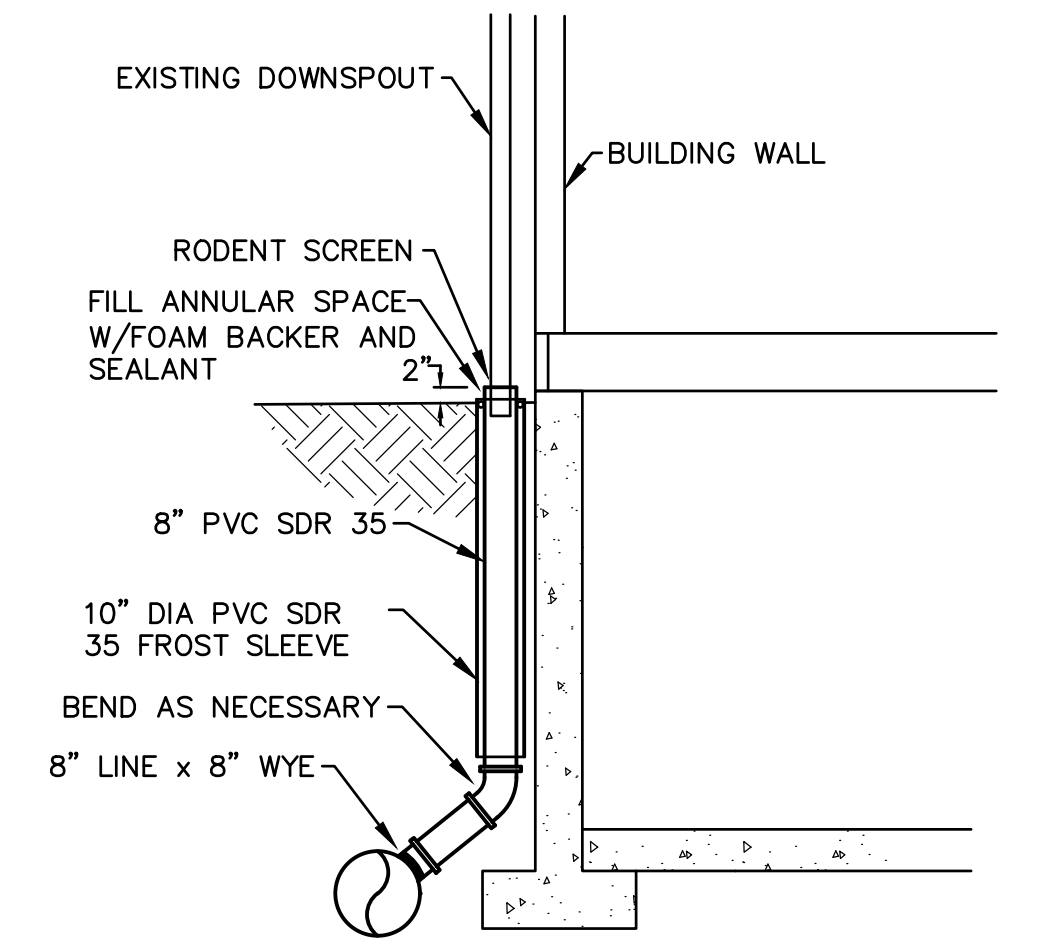
RIP RAP DETAIL



TOWN HALL DETAILS



YARD DRAIN DETAIL



DOWNSPOUT CONNECTION

NOTE: CONTRACTOR TO VERIFY WITH INDIVIDUAL BUILDING PLUMBING PLANS, ROOF DRAINAGE PLANS.

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MAHLER PARK & TOWN HALL - REPAVING PROJECTS
TOWN OF NEENAH, WINNEBAGO COUNTY, WI
MISCELLANEOUS DETAILS

DESIGNED BTH	DRAWN MJA
PROJECT NO. N0003-09-23-00245	
DATE MAY 2023	
SHEET NO. 11	